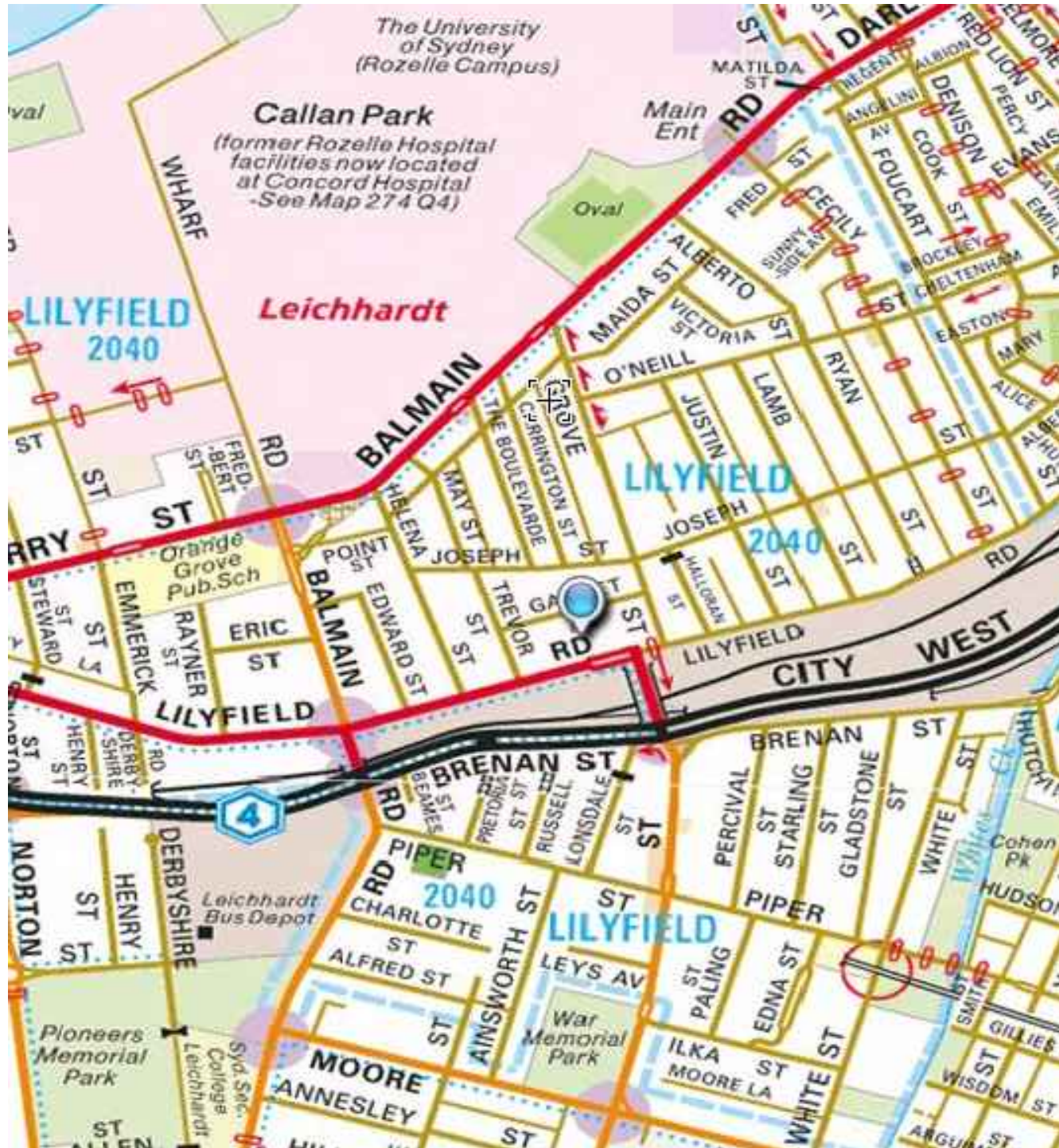


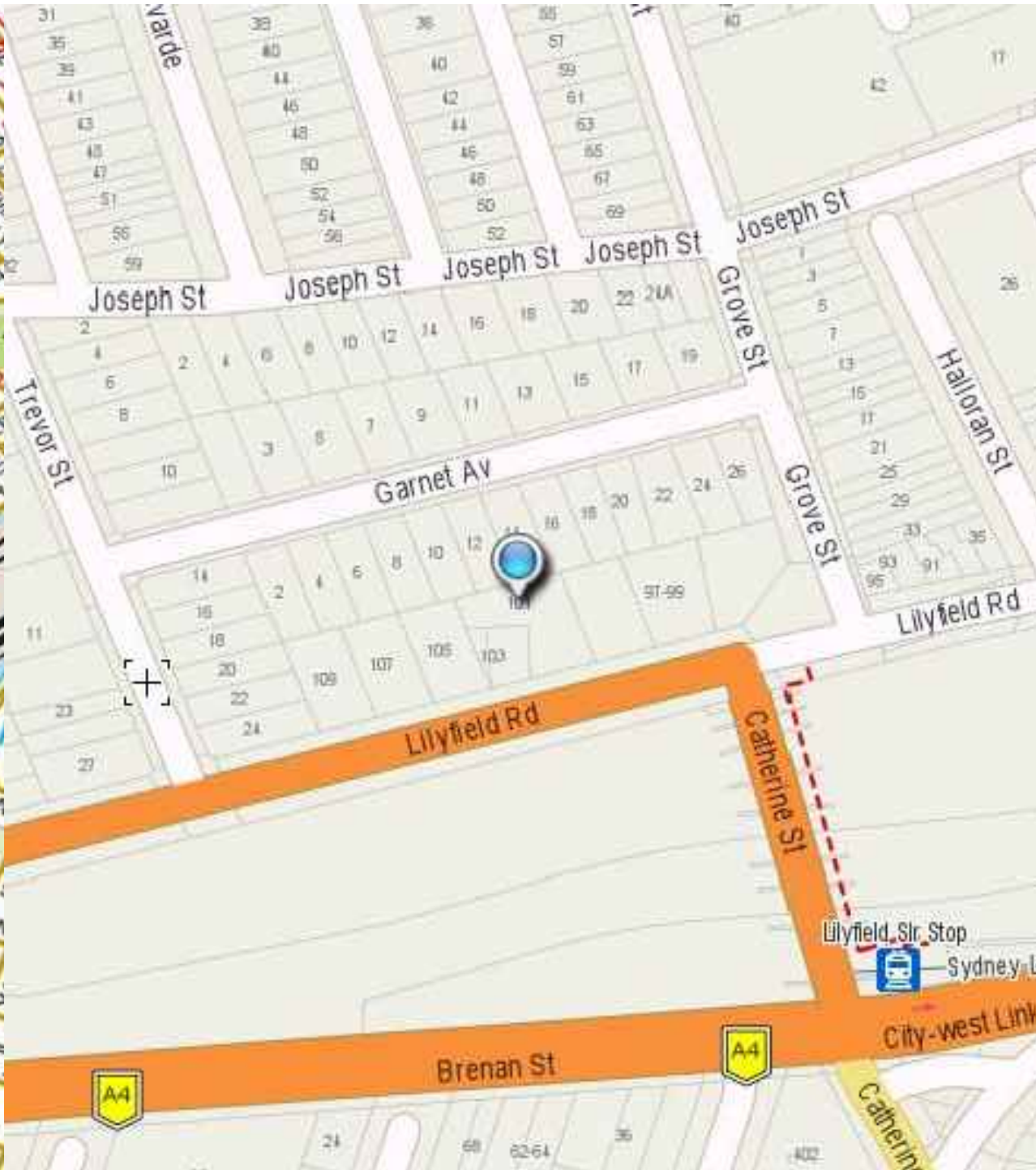


MIXED USE DEVELOPMENT

101-103 LILYFIELD ROAD LILYFIELD



STREET DIRECTORY (www.street-directory.com.au)



STREET DIRECTORY (www.street-directory.com.au)



AERIAL PHOTOGRAPH (maps.six.nsw.gov.au)

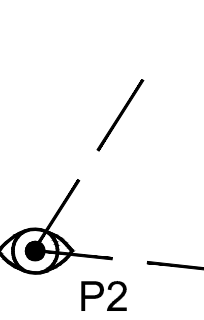
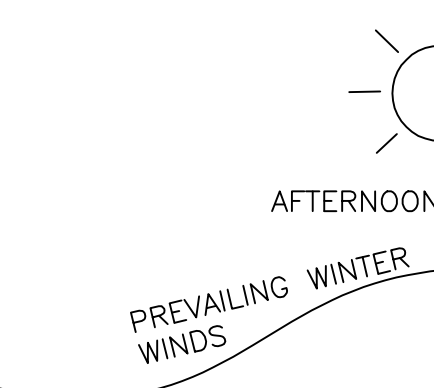
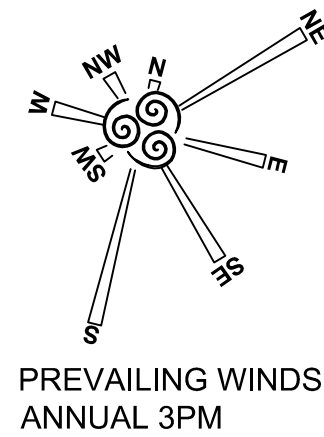
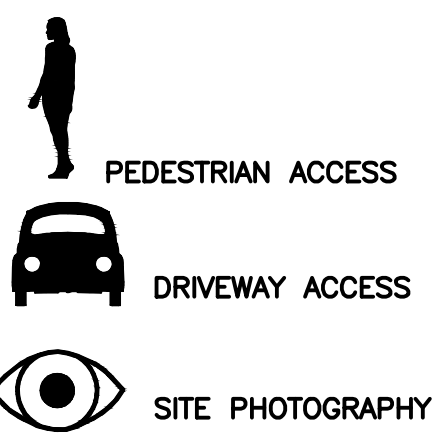


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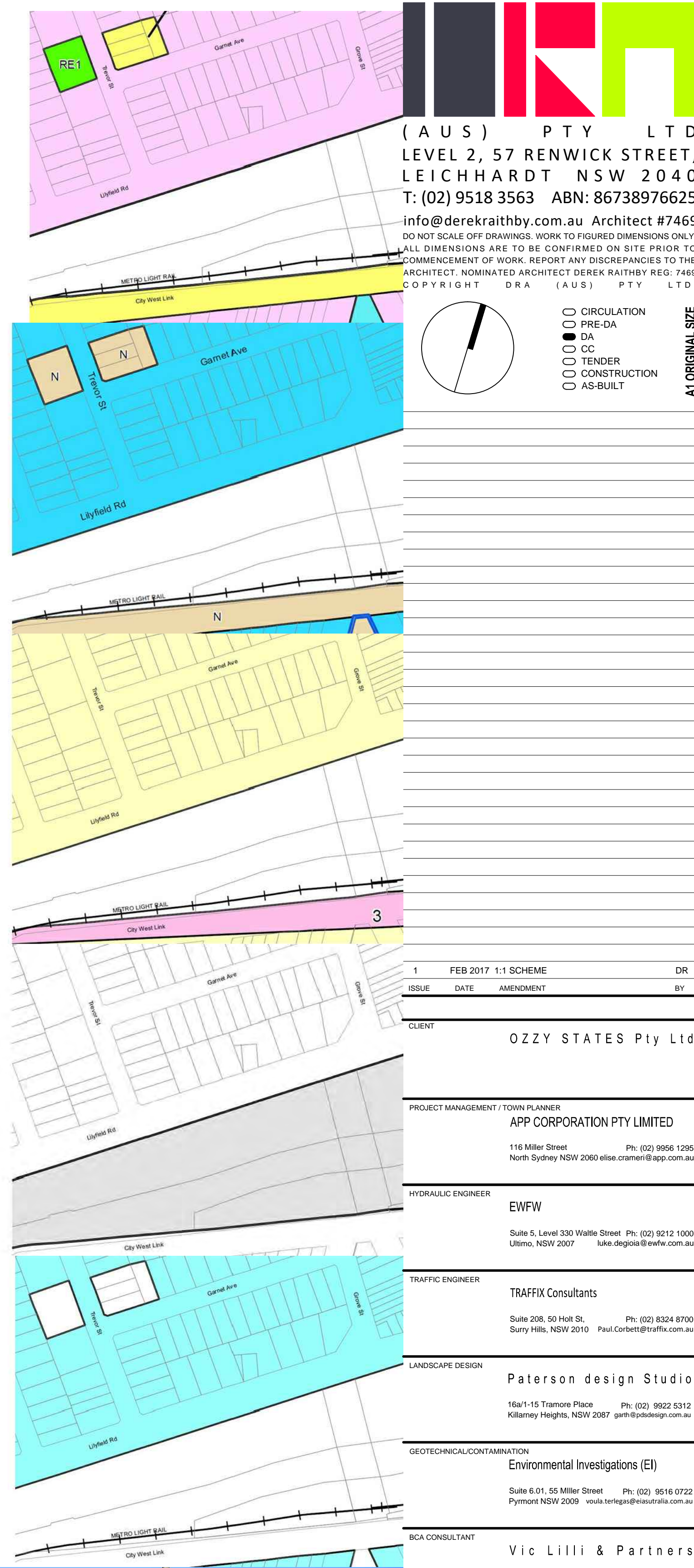
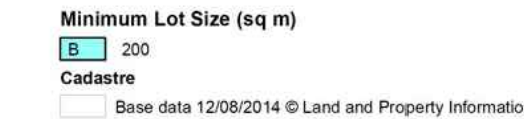
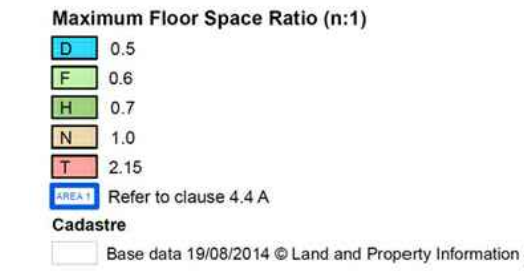
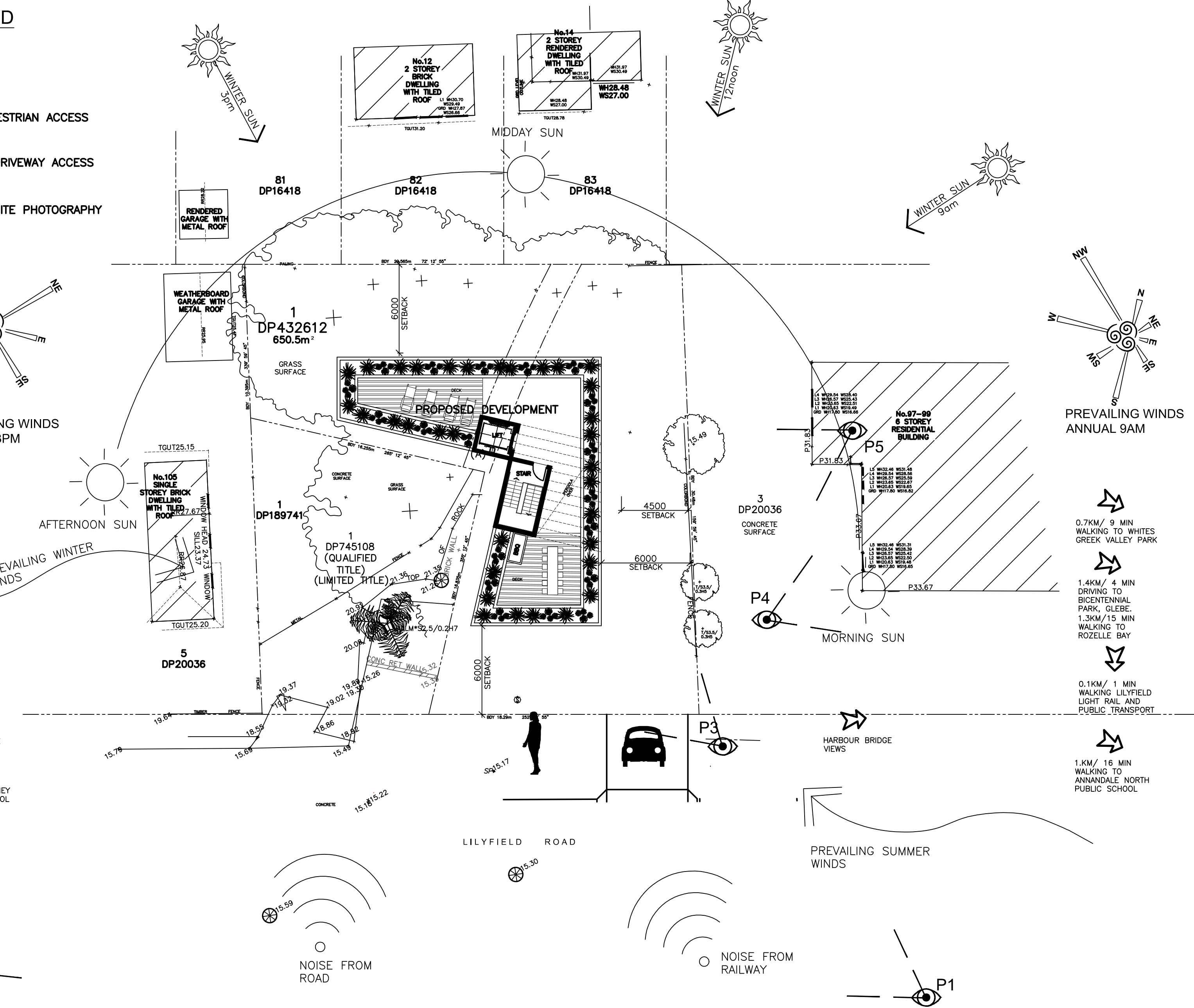
ARCHITECTURAL DRAWINGS

PROJECT#	DWG#	TITLE	SCALE	ISSUE	DATE
D1515	00	COVER SHEET	NTS @ A1	1	FEB 2017
	01	SITE ANALYSIS	1:200 @ A1	1	FEB 2017
	02	GROUND FLOOR PLAN	1:100 @ A1	1	FEB 2017
	03	FIRST FLOOR PLAN	1:100 @ A1	1	FEB 2017
	04	SECOND FLOOR PLAN	1:100 @ A1	1	FEB 2017
	05	THIRD FLOOR PLAN	1:100 @ A1	1	FEB 2017
	06	FOURTH FLOOR PLAN	1:100 @ A1	1	FEB 2017
	07	ROOF TERRACE	1:100 @ A1	1	FEB 2017
	08	SOUTH/NORTH ELEVATION	1:100 @ A1	1	FEB 2017
	09	EAST/WEST ELEVATION	1:100 @ A1	1	FEB 2017
	10	DIAGRAM - GFA	NTS	1	FEB 2017
	11	DIAGRAM - LANDSCAPED AREA PLAN	1:100 @ A1	1	FEB 2017
	12	DIAGRAM - SHADOWS - MARCH	1:250 @ A1	1	FEB 2017
	13	DIAGRAM - SHADOWS - JUNE	1:250 @ A1	1	FEB 2017
	14	DIAGRAM - SOLAR ACCESS	1:100 @ A1	1	MAR 2017
	15	DIAGRAM - VIEW LOSS	1:100 @ A1	1	MAR 2017

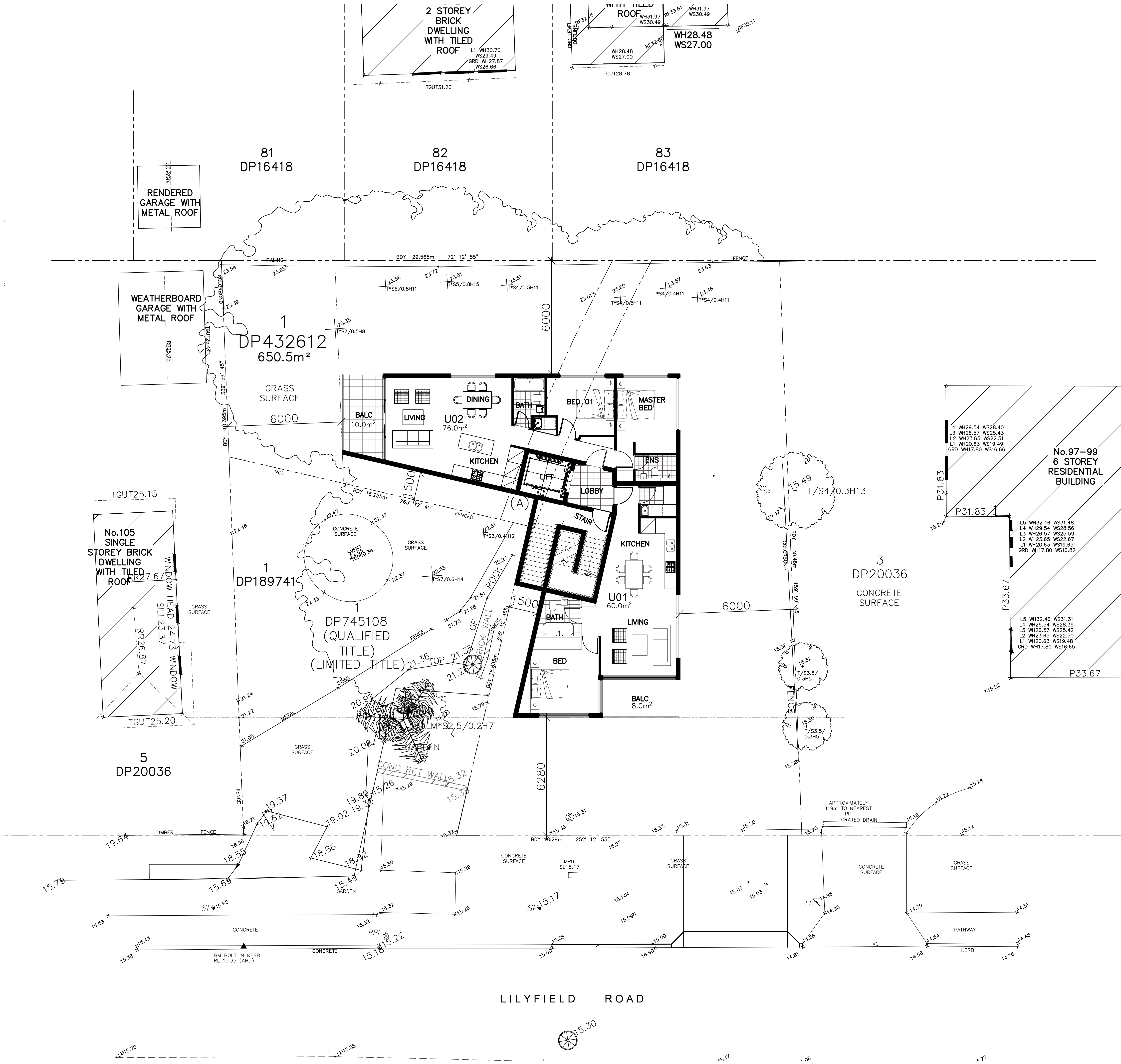
LEGEND



SITE ANALYSIS PLAN



P1. LOOKING TOWARDS THE SITE FROM LILYFIELD ROAD P2. LOOKING TOWARDS THE SITE FROM LILYFIELD ROAD. P3. LOOKING TOWARDS EXISTING HOUSE AND SHOP ON SITE P4. LOOKING TOWARDS ADJOINING SIX STOREY BUILDING (No 97-99) P5. LOOKING TOWARDS THE SITE FROM ROOF OF ADJOINING BUILDING (No 97-99)



LEGEND

- C.O.S. - CONFIRM ON SITE.
D.P. - DOWNPIPE.
E.A. - EXISTING.
E.O. - EQUAL.
F.W. - FLOOR WASTE.
H.C. - HOSE COCK & GULLY.
RH. - DOOR WITH REMOVABLE HINGES.
U.N.O. - UNLESS NOTED OTHERWISE.
X. - CRITICAL DIMENSION.
FD. - FIRE RATED DOORS.
FHR. - FIRE RATED UP/TURN-600mm MIN.
FE. - FIRE EXTINGUISHER.
HYD. - HYDRANT.
SDO. - STORMWATER DRAIN OUTLET.
G. - GAS OUTLET.
H. - HYDRANT. REFER HYDRAULIC CONSULTANT DETAILS & SPEC.
SG. - SECURITY GATE & GRILLE.
FIP. - FIRE INDICATOR PANEL.
FFL. - FINISHED FLOOR LEVEL.
TOW. - TOP OF WALL.
PAV. - FINISHES TAG, REFER FINISHES SCHEDULE.
S. - SMOKE DETECTOR.
D. - THERMAL DETECTOR.
PBD. - PLANTER BOX DRAINAGE OUTLET.
S. - 2.5kg DRY CHEMICAL PWDR AS/CE TYPE PORTABLE FIRE EXTINGUISHERS.
RWO. - RAINWATER OUTLET.
DP. - DOWN PIPE.
ST. - STACK.

- P3. SELECTED PAINT FINISH.
L1. PRE-FINISHED CLADDING.
T1. TILES LAID TO FALL ON SCREED.
T2. INTERNAL TILES.
F1. SELECTED CONCRETE FINISH.
F2. POLISHED CONCRETE FINISH.
D1. ANODISED ALUMINIUM FRAMED DOORS.
D2. PANEL LIFT GARAGE DOOR.
D3. UNLESS NOTED OTHERWISE.
R1. ROOF TILES.
R2. ROOF TILES.
S1. SANDSTONE GLAD MASONRY WALL.
S2. CEMENT RENDERED MASONRY.
P1. CEMENT RENDERED MASONRY.
P2. CEMENT RENDERED MASONRY.
P3. PLATE STEEL CLADDING.
SP. SPANDREL.
F1. FRAMELESS GLASS BALUSTRADE.
UT1. SOLAR HOT WATER SYSTEM.
LST. LIMESTONE CLADDING.
BLD. TIMBER BLADES.
FBI. FACE BRICKWORK.
GB. GLAZED BRICK.
F1. POWDERCOATED METAL FENCE.
F2. HARDWOOD TIMBER BATTEN FENCE.
BL1. WITH ANODISED RAIL.
BL2. SOLID BALUSTRADE.
S1. ANODISED ALUMINIUM FRAMED SCREEN.
A/C. AIR CONDITIONER.
CUPB. CUPBOARD.
HWD. HOT WATER UNIT.
RST. RUSTED PANEL.
BPA. BRICK PAVES AS SPECIFIED.
TBD. TIMBER FLOORING.
TBD. TIMBER WALL CLADDING.
A/C. ANODISED ALUMINIUM FRAMED WINDOW.
A/C. ALUMINIUM FRAMED VELUX SKYLIGHT.

BASIX NOTES

REFER TO CERTIFICATE FOR COMPLETE DETAILS & REQUIREMENTS.
THERMAL SPECIFICATIONS
PROVIDE SINGLE CLEAR TIMBER FRAME (1=WALL 5.55 & SHOC 0.73) OR BETTER TABLE SPECS.
1. EXTERNAL WALLS
- REVERSE BRICK VENEER FOIL, REFLECTIVE ONE SIDE, WITH-LARE OTHER.
- CAVITY BRICK FOIL, REFLECTIVE ONE SIDE, ANTI-GLARE OTHER.
2. INTERNAL WALLS
- INTERNALLY IN UNITS (PLASTERBOARD ON STUD, NO INSULATION).
FLOORS
- CONCRETE FLOOR - NO INSULATION.
3. CEILING
- PLASTERBOARD WITH BULK INSULATION R2.5 UNVENTED ROOFSpace.
4. ROOF
- ROOF TILES, GAP ABOVE, REFLECTIVE SIDE DOWN, ANTI-GLARE UP.

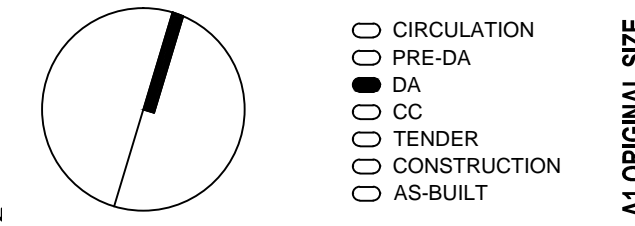
COMMENTS FOR RESIDENTIAL FLAT BUILDINGS - UNIT BUILDING
WATER
THE APPLICANT MUST:
- PLANT INDIGENOUS OR LOW WATER USE SPECIES OF VEGETATION THROUGHOUT THE AREA OF LAND SPECIFIED FOR THE DWELLING.
- INSTALL FIXTURES OR APPLIANCES ACCORDING RATING SPECIFIED.
- INSTALL A HOT WATER RECIRCULATION SYSTEM, ACCORDING TABLE SPECS.
- A SEPARATE DIVERSION TANK, ACCORDING TABLE SPECS.
- NOT EXCEED THE SPECIFIED VOLUME FOR PRIVATE SWIMMING POOL OR SPA. LOCATION AND COVER AS PER TABLE.
- INSTALL ALTERNATIVE WATER SUPPLY SYSTEM AS SPECIFIED.
ENERGY
THE APPLICANT MUST:
- INSTALL HOT WATER SYSTEM AS SPECIFIED.
- INSTALL A CENTRAL COOLING TOWER IN ACCORDANCE WITH TABLE SPECS.
- COOLING AND HEATING SYSTEMS ACCORDING TABLE SPECS.
- ENSURE FL OR LED AS A PRIMARY TYPE OF ARTIFICIAL LIGHTING FOR EACH ROOM.
- ENSURE THAT EACH ROOM OR AREA IS FITTED WITH A WINDOW AND/OR SKYLIGHT.
- INSTALL TIMER TO CONTROL WATER PUMP FOR SWIMMING POOL AND SPA, ACCORDING TABLE SPECS.
- INSTALL "APPLIANCES & OTHER EFFICIENCY MEASURES" ACCORDING TABLE SPECS.
THERMAL COMFORT
THE APPLICANT MUST:
- CONSTRUCT ACCORDING THE THERMAL SPECIFICATIONS SET OUT IN THE ASSESSOR CERTIFICATE.
- WHERE THERE IS AN IN-SLAB HEATING OR COOLING SYSTEM:
- INSTALL INSULATION WITH AN R-VALUE OF NOT LESS THAN 1.0 UNDERNEATH THE SLAB AND AROUND THE VERTICAL EDGES OF THE PERIMETER OF THE SLAB.
- ON A SUSPENDED FLOOR, INSTALL INSULATION WITH AN R-VALUE OF NOT LESS THAN 1.0 UNDERNEATH THE SLAB AND AROUND THE VERTICAL EDGES OF THE PERIMETER OF THE SLAB.
- CONSTRUCT FLOORS AND WALLS IN ACCORDANCE WITH TABLE SPECS.

COMMENTS FOR COMMON AREAS AND CENTRAL SYSTEM/FACILITIES
WATER
THE APPLICANT MUST:
- INSTALL FITTINGS ACCORDING TABLE SPECS.
- ENSURE THAT THE DEVELOPMENT IS SERVICED BY AN ALTERNATIVE WATER SUPPLY SYSTEM, (TABLE SPECS).
- ENSURE THAT SWIMMING POOL OR SPA, COMPLY WITH TABLE SPECIFICATIONS.
- ENSURE THAT FIRE SPRINKLER SYSTEM IS CONFIGURED AS TABLE SPECS.
- ENSURE THAT THE CENTRAL COOLING TOWER IS CONFIGURED AS SPECIFIED IN THE TABLE.
ENERGY
THE APPLICANT MUST:
- ENSURE THAT VENTILATION SYSTEM, IS CONFIGURED ACCORDING TABLE SPECS.
- INSTALL AND ENSURE THAT THE "PRIMARY TYPE OF ARTIFICIAL LIGHTING" FOR EACH COMMON AREA, COMPLY WITH TABLE SPECS.
- INSTALL A CENTRALIZED LIGHTING CONTROL SYSTEM OR BMS FOR COMMON AREAS.
- INSTALL AND ENSURE THAT SYSTEM AND FIXTURES SPECIFIED IN THE "CENTRAL ENERGY SYSTEM" TABLE, MEET THE SPECS.
NOTE
PROVISION FOR WINDOW CLEANERS IN ACCORDANCE, BCA NSW CLAUSE 61-101 PORTABLE FIRE EXTINGUISHER IN ACCORDANCE WITH BCA CLAUSE E 1.6.

COMMENTS FOR COMMON AREAS AND CENTRAL SYSTEM/FACILITIES
WATER
THE APPLICANT MUST:
- INSTALL FITTINGS ACCORDING TABLE SPECS.
- ENSURE THAT THE DEVELOPMENT IS SERVICED BY AN ALTERNATIVE WATER SUPPLY SYSTEM, (TABLE SPECS).
- ENSURE THAT SWIMMING POOL OR SPA, COMPLY WITH TABLE SPECIFICATIONS.
- ENSURE THAT FIRE SPRINKLER SYSTEM IS CONFIGURED AS TABLE SPECS.
- ENSURE THAT THE CENTRAL COOLING TOWER IS CONFIGURED AS SPECIFIED IN THE TABLE.

COMMENTS FOR COMMON AREAS AND CENTRAL SYSTEM/FACILITIES
WATER
THE APPLICANT MUST:
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- ENSURE THAT THE DEVELOPMENT IS SERVICED BY AN ALTERNATIVE WATER SUPPLY SYSTEM, (TABLE SPECS).
- ENSURE THAT SWIMMING POOL OR SPA, COMPLY WITH TABLE SPECIFICATIONS.
- ENSURE THAT FIRE SPRINKLER SYSTEM IS CONFIGURED AS TABLE SPECS.
- ENSURE THAT THE CENTRAL COOLING TOWER IS CONFIGURED AS SPECIFIED IN THE TABLE.

(AUS) PTY LTD
LEVEL 2, 57 RENWICK STREET,
LEICHHARDT NSW 2040
T: (02) 9518 3563 ABN: 86738976625
info@derekraithby.com.au Architect #7469
DO NOT SCALE OFF DRAWINGS. WORK TO FIGURED DIMENSIONS ONLY.
ALL DIMENSIONS ARE TO BE CONFIRMED ON SITE PRIOR TO COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES TO THE ARCHITECT. NOMINATED ARCHITECT DEREK RAITHBY REG: 7469
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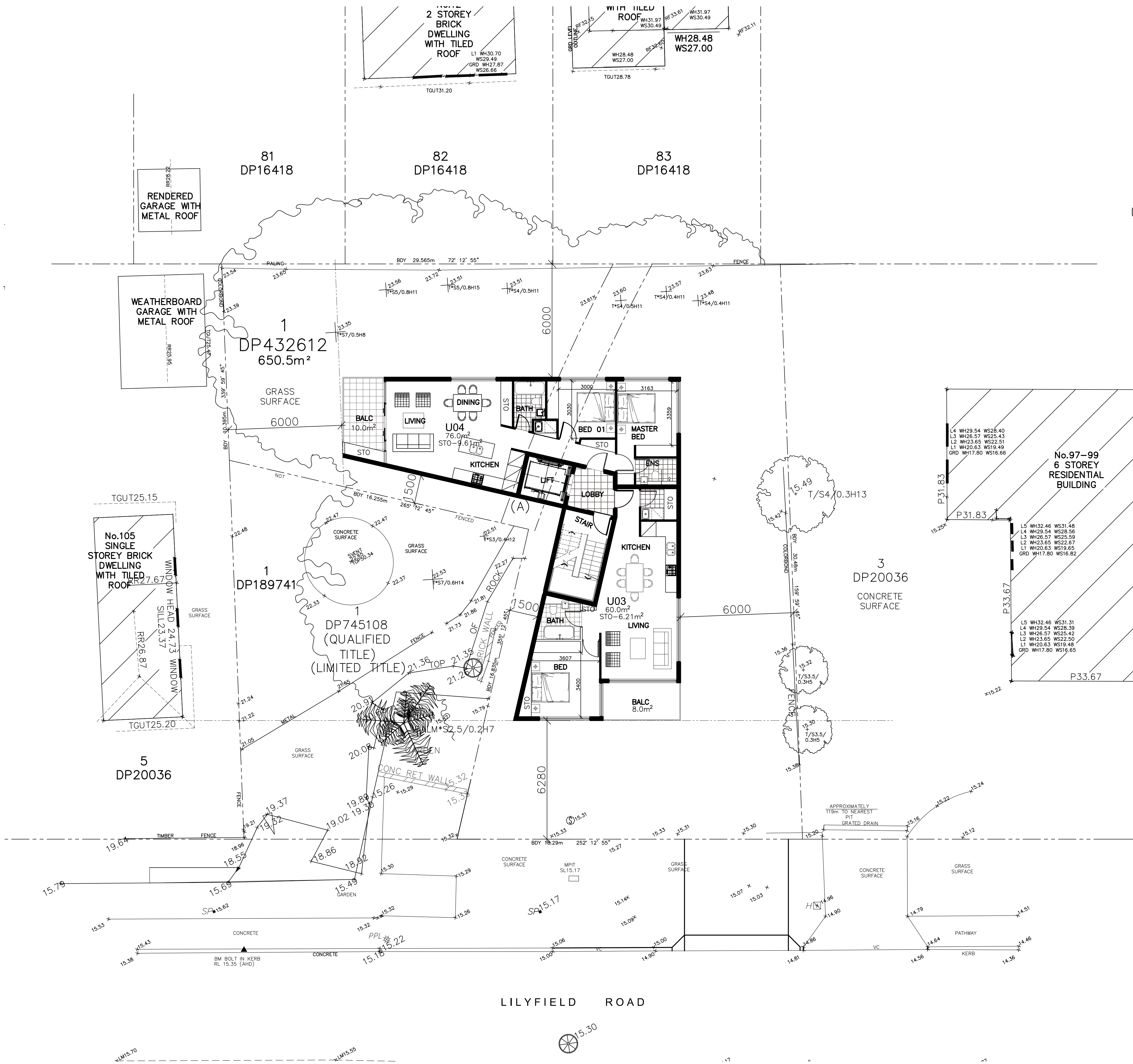
- CIRCULATION
PRE-DA
DA
CC
TENDER
CONSTRUCTION
AS-BUILT

A1 ORIGINAL SIZE

1	FEB 2017	1:1 SCHEME	DR
ISSUE	DATE	AMENDMENT	BY
CLIENT			
OZZY STATES Pty Ltd			
PROJECT MANAGEMENT / TOWN PLANNER			
APP CORPORATION PTY LIMITED			
116 Miller Street Ph: (02) 9556 1295 North Sydney NSW 2060 elise.cramer@app.com.au			
HYDRAULIC ENGINEER			
EWF			
Suite 5, Level 330 Wallie Street Ph: (02) 9212 1000 Ultimo, NSW 2007 luke.degioia@ewf.com.au			
TRAFFIC ENGINEER			
TRAFFIX Consultants			
Suite 208, 50 Holt St Ph: (02) 8324 8700 Surry Hills, NSW 2010 Paul.Corbett@traffix.com.au			
LANDSCAPE DESIGN			
Paterson design Studio			
16a/1-15 Tramore Place Ph: (02) 9922 5312 Kilmarney Heights, NSW 2087 garr@pdesign.com.au			
GEOTECHNICAL/CONTAMINATION			
Environmental Investigations (EI)			
Suite 6.01, 55 Miller Street Ph: (02) 9516 0722 Pyrmont NSW 2009 voola.taraggs@einvest.com.au			
BCA CONSULTANT			
Vic Lilli & Partners			
Suite 7 Level 2, 1-17 Elsie Street Ph: (02) 8715 2555 Burwood NSW 2134 mzung@lillipartners.com.au			

PROJECT			
RESIDENTIAL DEVELOPMENT			
101 LILYFIELD ROAD			
LILYFIELD, NSW			
DRAWING TITLE			
FIRST FLOOR PLAN			
DATE	FEB 2017	DRAWING No.	
SCALE	1:100 @ A1		
JOB No.	D1515		
DRAWN BY	DR		

PRELIMINARY



LEGEND

- C.O.S. - CONFIRM ON SITE.
DP - DOWNPIPE.
E.X. - EXISTING.
E.G. - EQUAL.
F.W. - FLOOR WASTE.
H.C. - HOSE COCK & GULLY.
RH - DOOR WITH REMOVABLE HINGES.
U.N.O. - UNLESS NOTED OTHERWISE.
X - CRITICAL DIMENSION.
FD - FIRE RATED DOORS.
/120/120 & - /60/30
FHR - FIRE HOSE REEL.
FE - FIRE EXTINGUISHER.
HYD - HYDRANT.
SDO - STORMWATER DRAIN OUTLET.
G - GAS OUTLET.
H - HYDRANT, REFER HYDRAULIC CONSULTANT DETAILS & SPEC.
SG - SECURITY GATE & GRILLE.
FIP - FIRE INDICATOR PANEL.
FFL - FINISHED FLOOR LEVEL.
TOW - TOP OF WALL.
PAV - FINISHES TAG, REFER FINISHES SCHEDULE.
S - SMOKE DETECTOR.
D - THERMAL DETECTOR.
PBD - PLANTER BOX DRAINAGE OUTLET.
EXT - 2.5kg DRY CHEMICAL PWD.
AB(E) - TYPE PORTABLE FIRE EXTINGUISHERS.
RWO - RAINWATER OUTLET.
DP - DOWN PIPE.
ST - STACK.

- P3 - SELECTED PAINT FINISH.
CL1 - PRE-FINISHED CLADDING.
T1 - TILES LAID TO FALL ON SCREED.
T2 - INTERNAL TILES.
CF1 - SELECTED CONCRETE FINISH.
CF2 - POLISHED CONCRETE FINISH.
AD - ANODISED ALUMINIUM FRAMED DOORS.
B1 - PANEL, LIFT GARAGE DOOR, COLORBOND FINISH.
B2 - ROOF TILES.
B3 - ROOF TILES.
B4 - SANDSTONE CLAD MASONRY WALL.
B5 - CEMENT RENDERED MASONRY, PAINT FINISH.
B6 - CEMENT RENDERED MASONRY, PLATE STEEL CLADDING.
B7 - SPANDREL.
B8 - FIRE RATED UPTURN-600mm MIN. SOLAR ELECTRIC SYSTEM.
B9 - SOLAR HOT WATER SYSTEM.
B10 - Limestone Cladding.
B11 - TIMBER BLADES.
B12 - FACE BRICKWORK.
B13 - GLAZED BRICK.
B14 - POWDERCOATED METAL FENCE.
B15 - HARDWOOD TIMBER BATTEN FENCE.
B16 - FRAMELESS GLASS BALUSTRADE WITH ANODISED RAIL.
B17 - SOLID BALUSTRADE.
B18 - ANODISED ALUMINIUM FRAMED SCREEN.
B19 - AIR CONDITIONER.
B20 - CUPBOARD.
B21 - HOT WATER UNIT.
B22 - RUSTED PANEL.
B23 - BRICK PAVES AS SPECIFIED.
B24 - TIMBER FLOORING.
B25 - TIMBER WALL CLADDING.
B26 - ANODISED ALUMINIUM FRAMED WINDOW.
B27 - ALUMINIUM FRAMED VELUX SKYLIGHT.

BASIX NOTES

REFER TO CERTIFICATE FOR COMPLETE DETAILS & REQUIREMENTS.

THERMAL SPECIFICATIONS
- PROVIDE SINGLE CLEAR TIMBER FRAME (U-VALUE 5.55 & SHGC 0.73) OR BETTER

EXTERNAL WALLS
- REVERSE BRICK VENEER FOIL, REFLECTIVE ONE SIDE, ANTI-GLARE OTHER
- CAVITY BRICK FOIL, REFLECTIVE ONE SIDE, ANTI-GLARE OTHER

INTERNAL WALLS
- INTERNALLY IN UNITS (PLASTERBOARD ON STUD, NO INSULATION)

FLOORS
- CONCRETE FLOOR - NO INSULATION.

Ceilings
- PLASTERBOARD WITH BULK INSULATION R2.5 UNVENTILATED ROOFSPACE

Roof
- ROOF TILES, GAP ABOVE, REFLECTIVE SIDE DOWN, ANTI-GLARE UP.

COMMENTS FOR RESIDENTIAL FLAT BUILDINGS - UNIT BUILDING
- (A) DWELLING

Water
- THE APPLICANT MUST:
- PLANT INDIGENOUS OR LOW WATER USE SPECIES OF VEGETATION THROUGHOUT THE AREA OF LAND SPECIFIED FOR THE DWELLING.
- INSTALL FIXTURES OR APPLIANCES ACCORDING RATING SPECIFIED.
- INSTALL A HOT WATER REGULATION SYSTEM, ACCORDING TABLE SPECS.
- A SEPARATE OVERFLOW TANK, ACCORDING TABLE SPECS.
- NOT EXCEED THE SPECIFIED VOLUME FOR PRIVATE SWIMMING POOL OR SPA. LOCATION AND COVER AS PER TABLE.
- INSTALL ALTERNATIVE WATER SUPPLY SYSTEM AS SPECIFIED.

Energy
- THE APPLICANT MUST:
- INSTALL HOT WATER SYSTEM AS SPECIFIED.
- VENTILATION SYSTEM FOR EACH BATHROOM, KITCHEN AND LAUNDRY, ACCORDING SPECS.
- COOLING AND HEATING SYSTEMS ACCORDING TABLE SPECS.
- ENSURE FL OR LED AS A PRIMARY TYPE OF ARTIFICIAL LIGHTING FOR EACH ROOM.
- ENSURE THAT EACH ROOM OR AREA IS FITTED WITH A WINDOW AND/OR SKYLIGHT.
- INSTALL TIMER TO CONTROL WATER PUMP FOR SWIMMING POOL AND SPA, ACCORDING TABLE SPECS.
- INSTALL APPLIANCES & OTHER EFFICIENCY MEASURES ACCORDING TABLE SPECS.

Thermal Comfort
- THE APPLICANT MUST:
- CONSTRUCT ACCORDING THE THERMAL SPECIFICATIONS SET OUT IN THE ASSESSOR CERTIFICATE.
- WHERE THERE IS AN IN-SLAB HEATING OR COOLING SYSTEM:
- INSTALL INSULATION WITH AN R-VALUE OF NOT LESS THAN 1.0 UNDERNEATH THE SLAB AND AROUND THE VERTICAL EDGES OF THE PERIMETER OF THE SLAB, OR ON A SUSPENDED FLOOR, INSTALL INSULATION WITH AN R-VALUE OF NOT LESS THAN 1.0 UNDERNEATH THE SLAB AND AROUND THE VERTICAL EDGES OF THE PERIMETER OF THE SLAB.
- CONSTRUCT FLOORS AND WALLS IN ACCORDANCE WITH TABLE SPECS.

COMMENTS FOR COMMON AREAS AND CENTRAL SYSTEM/FACILITIES FOR THE DEVELOPMENT
- (A) COMMON AREAS AND CENTRAL SYSTEM/FACILITIES

Water
- THE APPLICANT MUST:
- INSTALL FITTINGS ACCORDING TABLE SPECS.
- ENSURE THAT THE DEVELOPMENT IS SERVED BY AN ALTERNATIVE WATER SUPPLY SYSTEM (TABLE SPECS).
- ENSURE THAT SWIMMING POOL OR SPA, COMPLY WITH TABLE SPECS.
- ENSURE THAT FIRE SPRINKLER SYSTEM IS CONFIGURED AS TABLE SPECS.

Energy
- THE APPLICANT MUST:
- INSTALL HOT WATER SYSTEM AS SPECIFIED.
- VENTILATION SYSTEM FOR EACH BATHROOM, KITCHEN AND LAUNDRY, ACCORDING SPECS.
- COOLING AND HEATING SYSTEMS ACCORDING TABLE SPECS.
- ENSURE FL OR LED AS A PRIMARY TYPE OF ARTIFICIAL LIGHTING FOR EACH ROOM.
- ENSURE THAT EACH ROOM OR AREA IS FITTED WITH A WINDOW AND/OR SKYLIGHT.
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COMMENTS FOR COMMON AREAS AND CENTRAL SYSTEM/FACILITIES FOR THE DEVELOPMENT
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- ENSURE THAT SWIMMING POOL OR SPA, COMPLY WITH TABLE SPECS.
- ENSURE THAT FIRE SPRINKLER SYSTEM IS CONFIGURED AS TABLE SPECS.

Energy
- THE APPLICANT MUST:
- INSTALL HOT WATER SYSTEM AS SPECIFIED.
- VENTILATION SYSTEM FOR EACH BATHROOM, KITCHEN AND LAUNDRY, ACCORDING SPECS.
- COOLING AND HEATING SYSTEMS ACCORDING TABLE SPECS.
- ENSURE FL OR LED AS A PRIMARY TYPE OF ARTIFICIAL LIGHTING FOR EACH ROOM.
- ENSURE THAT EACH ROOM OR AREA IS FITTED WITH A WINDOW AND/OR SKYLIGHT.
- INSTALL TIMER TO CONTROL WATER PUMP FOR SWIMMING POOL AND SPA, ACCORDING TABLE SPECS.
- INSTALL APPLIANCES & OTHER EFFICIENCY MEASURES ACCORDING TABLE SPECS.

Thermal Comfort
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- WHERE THERE IS AN IN-SLAB HEATING OR COOLING SYSTEM:
- INSTALL INSULATION WITH AN R-VALUE OF NOT LESS THAN 1.0 UNDERNEATH THE SLAB AND AROUND THE VERTICAL EDGES OF THE PERIMETER OF THE SLAB, OR ON A SUSPENDED FLOOR, INSTALL INSULATION WITH AN R-VALUE OF NOT LESS THAN 1.0 UNDERNEATH THE SLAB AND AROUND THE VERTICAL EDGES OF THE PERIMETER OF THE SLAB.
- CONSTRUCT FLOORS AND WALLS IN ACCORDANCE WITH TABLE SPECS.

COMMENTS FOR COMMON AREAS AND CENTRAL SYSTEM/FACILITIES FOR THE DEVELOPMENT
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- ENSURE THAT SWIMMING POOL OR SPA, COMPLY WITH TABLE SPECS.
- ENSURE THAT FIRE SPRINKLER SYSTEM IS CONFIGURED AS TABLE SPECS.

Energy
- THE APPLICANT MUST:
- INSTALL HOT WATER SYSTEM AS SPECIFIED.
- VENTILATION SYSTEM FOR EACH BATHROOM, KITCHEN AND LAUNDRY, ACCORDING SPECS.
- COOLING AND HEATING SYSTEMS ACCORDING TABLE SPECS.
- ENSURE FL OR LED AS A PRIMARY TYPE OF ARTIFICIAL LIGHTING FOR EACH ROOM.
- ENSURE THAT EACH ROOM OR AREA IS FITTED WITH A WINDOW AND/OR SKYLIGHT.
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Thermal Comfort
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- WHERE THERE IS AN IN-SLAB HEATING OR COOLING SYSTEM:
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- CONSTRUCT FLOORS AND WALLS IN ACCORDANCE WITH TABLE SPECS.

COMMENTS FOR COMMON AREAS AND CENTRAL SYSTEM/FACILITIES FOR THE DEVELOPMENT
- (A) COMMON AREAS AND CENTRAL SYSTEM/FACILITIES

Water
- THE APPLICANT MUST:
- INSTALL FITTINGS ACCORDING TABLE SPECS.
- ENSURE THAT THE DEVELOPMENT IS SERVED BY AN ALTERNATIVE WATER SUPPLY SYSTEM (TABLE SPECS).
- ENSURE THAT SWIMMING POOL OR SPA, COMPLY WITH TABLE SPECS.
- ENSURE THAT FIRE SPRINKLER SYSTEM IS CONFIGURED AS TABLE SPECS.

Energy
- THE APPLICANT MUST:
- INSTALL HOT WATER SYSTEM AS SPECIFIED.
- VENTILATION SYSTEM FOR EACH BATHROOM, KITCHEN AND LAUNDRY, ACCORDING SPECS.
- COOLING AND HEATING SYSTEMS ACCORDING TABLE SPECS.
- ENSURE FL OR LED AS A PRIMARY TYPE OF ARTIFICIAL LIGHTING FOR EACH ROOM.
- ENSURE THAT EACH ROOM OR AREA IS FITTED WITH A WINDOW AND/OR SKYLIGHT.
- INSTALL TIMER TO CONTROL WATER PUMP FOR SWIMMING POOL AND SPA, ACCORDING TABLE SPECS.
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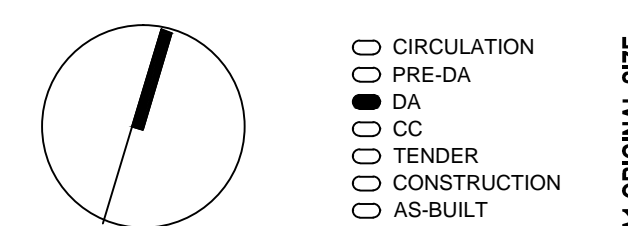
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info@derekraithby.com.au Architect #7469
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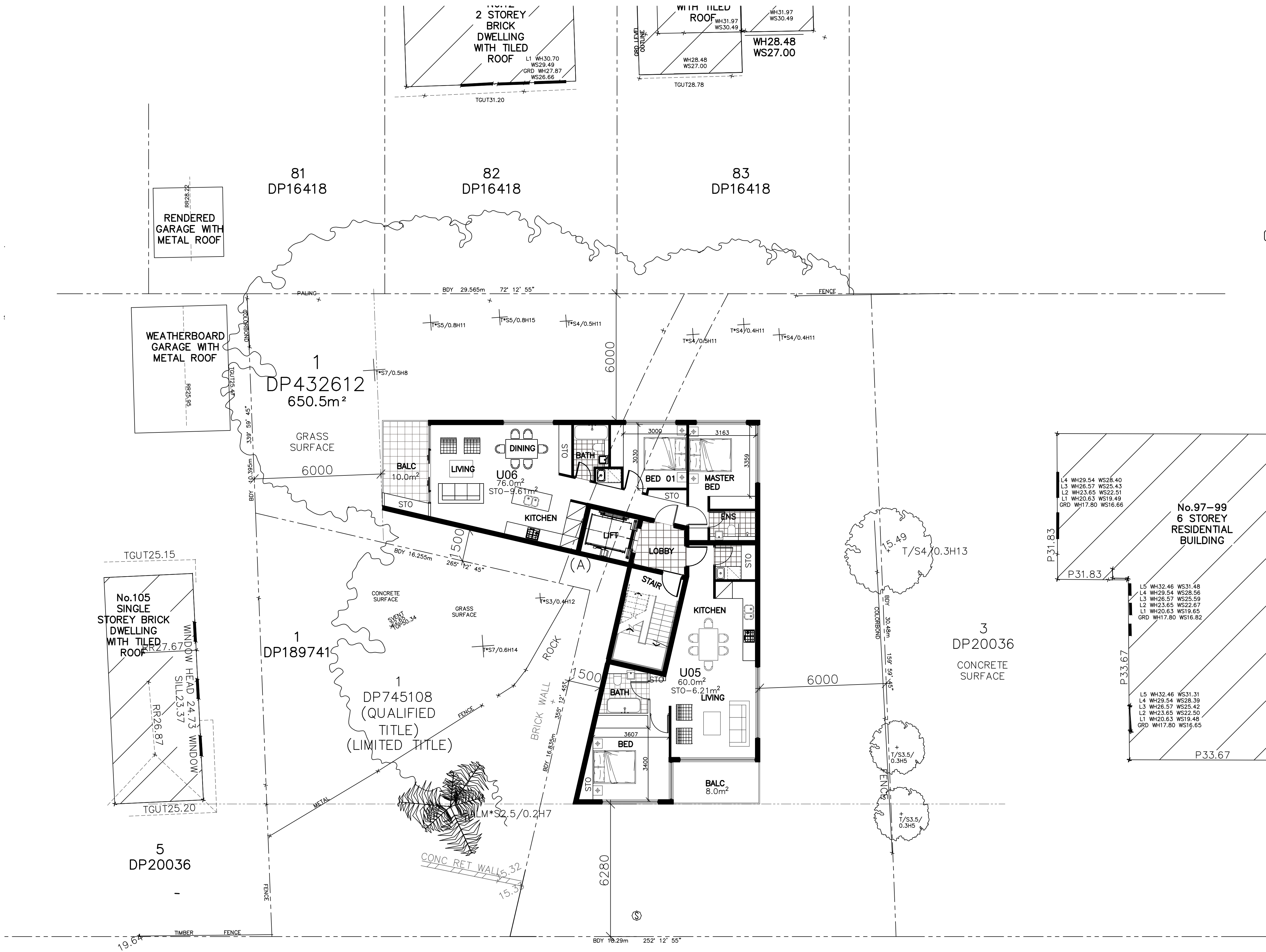
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LEGEND

- C.O.S. - CONFIRM ON SITE.
DP - DOWNPIPE.
E.X. - EXISTING.
E.Q. - EQUAL.
F.W. - FLOOR WASTE.
H.C. - HOSE COCK & GULLY.
RH - DOOR WITH REMOVABLE HINGES.
U.N.O. - UNLESS NOTED OTHERWISE.
X - CRITICAL DIMENSION.
FD - FIRE RATED DOORS.
FHR - FIRE HOSE REEL.
FE - FIRE EXTINGUISHER.
HYD - HYDRANT.
SDO - STORMWATER DRAIN OUTLET.
G - GAS OUTLET.
H - HYDRANT, REFER HYDRAULIC CONSULTANT DETAILS & SPEC.
SG - SECURITY GATE & GRILLE.
FIP - FIRE INDICATOR PANEL.
FFL - FINISHED FLOOR LEVEL.
TOW - TOP OF WALL.
PAV - FINISHES TAG, REFER FINISHES SCHEDULE.
S - SMOKE DETECTOR.
D - THERMAL DETECTOR.
PBD - PLANTER BOX DRAINAGE OUTLET.
EXT - 2.5kg DRY CHEMICAL PWDOR AB(E) TYPE PORTABLE FIRE EXTINGUISHERS.
RWO - RAINWATER OUTLET.
DP - DOWN PIPE.
ST - STACK.

- P3 - SELECTED PAINT FINISH.
CL1 - PRE-FINISHED CLADDING.
T1 - TILES LAID TO FALL ON SCREED.
T2 - INTERNAL TILES.
CF1 - SELECTED CONCRETE FINISH.
CF2 - POLISHED CONCRETE FINISH.
A - ANODISED ALUMINIUM FRAMED DOORS.
B1 - PANEL, LIFT GARAGE DOOR, COLORBOND FINISH.
B2 - ROOF TILES.
B3 - ROOF TILES.
S11 - SANDSTONE CLAD MASONRY WALL.
C1 - CEMENT RENDERED MASONRY, PAINT FINISH.
C2 - CEMENT RENDERED MASONRY, PLATE STEEL CLADDING.
C3 - SPANDREL.
C4 - FIRE RATED UPTURN-600mm MIN. WITH ANODISED RAIL.
C5 - SOLAR HOT WATER SYSTEM.
L1 - LUNESTONE CLADDING.
B10 - TIMBER BLADES.
F10 - FACE BRICKWORK.
G1 - GLAZED BRICK.
F11 - POWDERCOATED METAL FENCE.
F12 - HARDWOOD TIMBER BATTEN FENCE.
B11 - FRAMELESS GLASS BALUSTRADE WITH ANODISED RAIL.
B12 - SOLID BALUSTRADE.
S14 - ANODISED ALUMINIUM FRAMED SCREEN.
A/C - AIR CONDITIONER.
CUPD - CUPBOARD.
HWD - HOT WATER UNIT.
RUS - RUSTED PANEL.
PAV - BRICK PAVES AS SPECIFIED.
T11 - TIMBER FLOORING.
T12 - TIMBER WALL CLADDING.
W1 - ANODISED ALUMINIUM FRAMED WINDOW.
W2 - ALUMINIUM FRAMED VELUX SKYLIGHT.

BASIX NOTES

REFER TO CERTIFICATE FOR COMPLETE DETAILS & REQUIREMENTS.

THERMAL SPECIFICATIONS
PROVIDE SINGLE CLEAR TIMBER FRAME (U-VALUE 5.55 & SHGC 0.73) OR BETTER

- EXTERNAL WALLS**
 - REVERSE BRICK VENEER FOIL, REFLECTIVE ONE SIDE, ANTI-GLARE OTHER
 - CANTY BRICK FOIL, REFLECTIVE ONE SIDE, ANTI-GLARE OTHER

- INTERNAL WALLS**
 - INTERIALLY IN UNITS (PLASTERBOARD ON STUD, NO INSULATION)

- FLOORS**
 - CONCRETE FLOOR - NO INSULATION.

- CEILINGS**
 - PLASTERBOARD WITH BULK INSULATION R2.5 UNVENTILATED ROOFSpace

- ROOF**
 - ROOF, GLASS, GAP ABOVE, REFLECTIVE SIDE DOWN, ANTI-GLARE UP.

COMMENTS FOR RESIDENTIAL FLAT BUILDINGS - UNIT BUILDING

WATER
THE APPLICANT MUST:

- PLANT INDIGENOUS OR LOW WATER USE SPECIES OF VEGETATION THROUGHOUT THE AREA OF LAND SPECIFIED FOR THE DWELLING.
- INSTALL FIXTURES OR APPLIANCES ACCORDING RATING SPECIFIED.
- INSTALL A HOT WATER REDUCED-CONSUMPTION SYSTEM, ACCORDING TABLE SPECS.
- SEPARATE DIVERSION TANK, ACCORDING TABLE SPECS.
- NOT EXCEED THE SPECIFIED VOLUME FOR PRIVATE SWIMMING POOL OR SPA. LOCATION AND COVER AS PER TABLE.
- INSTALL ALTERNATIVE WATER SUPPLY SYSTEM AS SPECIFIED.

ENERGY
THE APPLICANT MUST:

- VENTILATION SYSTEM FOR EACH BATHROOM, KITCHEN AND LAUNDRY, ACCORDING SPECIFICATIONS.
- COOLING AND HEATING SYSTEMS ACCORDING TABLE SPECS.
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NOTE
PROVISION FOR WINDOW CLEANERS IN ACCORDANCE WITH NSW CLAUSE 61-1-01 PORTABLE FIRE EXTINGUISHER IN ACCORDANCE WITH BSA CLAUSE E 1-6

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- ENSURE THAT THE CENTRAL COOLING TOWER IS CONFIGURED AS SPECIFIED IN THE TABLE.

THERMAL COMFORT
THE APPLICANT MUST:

- CONSTRUCT ACCORDING TO THE THERMAL SPECIFICATIONS SET OUT IN THE ASSESSOR CERTIFICATE.
- WHERE THERE IS AN IN-SLAB HEATING OR COOLING SYSTEM:
 - INSTALL INSULATION WITH AN R-VALUE OF NOT LESS THAN 1.0 UNDERNEATH THE SLAB AND AROUND THE VERTICAL EDGES OF THE PERIMETER OF THE SLAB, OR ON A SUSPENDED FLOOR, INSTALL INSULATION WITH AN R-VALUE OF NOT LESS THAN 1.0 UNDERNEATH THE SLAB AND AROUND THE VERTICAL EDGES OF THE PERIMETER OF THE SLAB.
 - CONSTRUCT FLOORS AND WALLS IN ACCORDANCE WITH TABLE SPECS.

COMMENTS FOR COMMON AREAS AND CENTRAL SYSTEMS/FACILITIES FOR THE DEVELOPMENT

WATER
THE APPLICANT MUST:

- INSTALL FITTINGS ACCORDING TABLE SPECS.
- ENSURE THAT THE DEVELOPMENT IS SERVICED BY AN ALTERNATIVE WATER SUPPLY SYSTEM (TABLE SPECS.)
- ENSURE THAT SWIMMING POOL OR SPA, COMPLY WITH TABLE SPECS.
- ENSURE THAT FIRE SPRINKLER SYSTEM IS CONFIGURED AS TABLE SPECS.
- ENSURE THAT THE CENTRAL COOLING TOWER IS CONFIGURED AS SPECIFIED IN THE TABLE.

ENERGY
THE APPLICANT MUST:

- ENSURE THAT VENTILATION SYSTEM, IS CONFIGURED ACCORDING TABLE SPECS.
- INSTALL AND ENSURE THAT THE PRIMARY TYPE OF ARTIFICIAL LIGHTING* FOR EACH COMMON AREA, COMPLY WITH TABLE SPECS.
- INSTALL A CENTRALIZED LIGHTING CONTROL SYSTEM OR BMS FOR COMMON AREAS, ACCORDING TABLE SPECS.
- INSTALL AND ENSURE THAT SYSTEM AND FIXTURES SPECIFIED IN THE "CENTRAL ENERGY SYSTEM" TABLE, MEET THE SPECS.

NOTE
PROVISION FOR WINDOW CLEANERS IN ACCORDANCE WITH NSW CLAUSE 61-1-01 PORTABLE FIRE EXTINGUISHER IN ACCORDANCE WITH BSA CLAUSE E 1-6

COMMENTS FOR RESIDENTIAL FLAT BUILDINGS - UNIT BUILDING

WATER
THE APPLICANT MUST:

- INSTALL FITTINGS ACCORDING TABLE SPECS.
- ENSURE THAT THE DEVELOPMENT IS SERVICED BY AN ALTERNATIVE WATER SUPPLY SYSTEM (TABLE SPECS.)
- ENSURE THAT SWIMMING POOL OR SPA, COMPLY WITH TABLE SPECS.
- ENSURE THAT FIRE SPRINKLER SYSTEM IS CONFIGURED AS TABLE SPECS.
- ENSURE THAT THE CENTRAL COOLING TOWER IS CONFIGURED AS SPECIFIED IN THE TABLE.

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THE APPLICANT MUST:

- CONSTRUCT ACCORDING TO THE THERMAL SPECIFICATIONS SET OUT IN THE ASSESSOR CERTIFICATE.
- WHERE THERE IS AN IN-SLAB HEATING OR COOLING SYSTEM:
 - INSTALL INSULATION WITH AN R-VALUE OF NOT LESS THAN 1.0 UNDERNEATH THE SLAB AND AROUND THE VERTICAL EDGES OF THE PERIMETER OF THE SLAB, OR ON A SUSPENDED FLOOR, INSTALL INSULATION WITH AN R-VALUE OF NOT LESS THAN 1.0 UNDERNEATH THE SLAB AND AROUND THE VERTICAL EDGES OF THE PERIMETER OF THE SLAB.
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COMMENTS FOR COMMON AREAS AND CENTRAL SYSTEMS/FACILITIES FOR THE DEVELOPMENT

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NOTE
PROVISION FOR WINDOW CLEANERS IN ACCORDANCE WITH NSW CLAUSE 61-1-01 PORTABLE FIRE EXTINGUISHER IN ACCORDANCE WITH BSA CLAUSE E 1-6

COMMENTS FOR RESIDENTIAL FLAT BUILDINGS - UNIT BUILDING

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THE APPLICANT MUST:

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 - INSTALL INSULATION WITH AN R-VALUE OF NOT LESS THAN 1.0 UNDERNEATH THE SLAB AND AROUND THE VERTICAL EDGES OF THE PERIMETER OF THE SLAB, OR ON A SUSPENDED FLOOR, INSTALL INSULATION WITH AN R-VALUE OF NOT LESS THAN 1.0 UNDERNEATH THE SLAB AND AROUND THE VERTICAL EDGES OF THE PERIMETER OF THE SLAB.
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NOTE
PROVISION FOR WINDOW CLEANERS IN ACCORDANCE WITH NSW CLAUSE 61-1-01 PORTABLE FIRE EXTINGUISHER IN ACCORDANCE WITH BSA CLAUSE E 1-6



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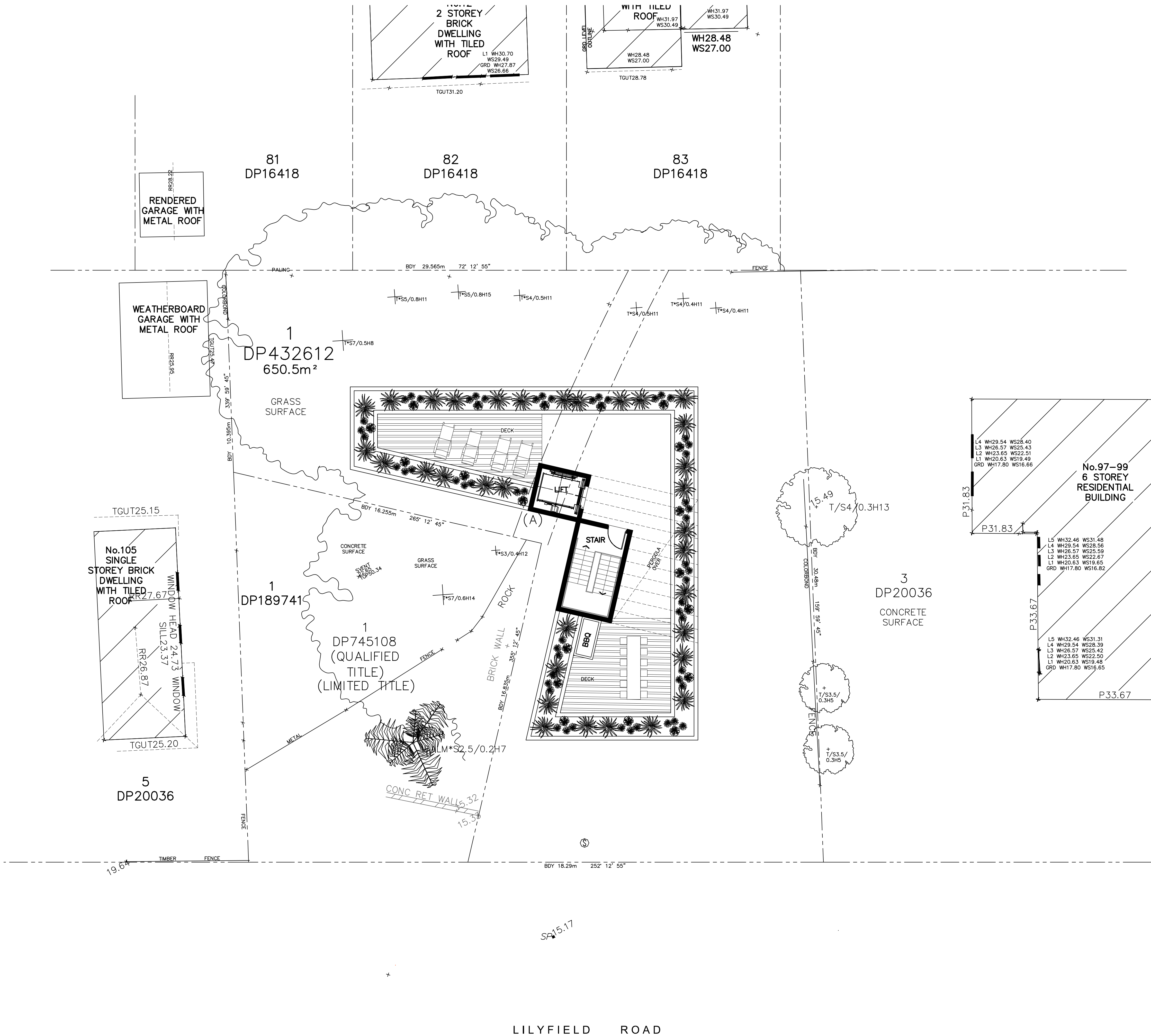
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LEGEND

- C.O.S. - CONFIRM ON SITE.
D.P. - DOWNPIPE.
E.X. - EXISTING.
E.Q. - EQUAL.
F.W. - FLOOR WASTE.
H.C. - HOSE COCK & GULLY.
RH. - ROOF HINGE.
U.N.O. - UNLESS NOTED OTHERWISE.
X - CRITICAL DIMENSION.
FD - FIRE RATED DOORS.
FHR - FIRE HOSE REEL.
FE - FIRE EXTINGUISHER.
H.D. - HYDRANT.
SDO - STORMWATER DRAIN OUTLET.
G - GAS OUTLET.
H - HYDRANT, REFER HYDRAULIC CONSULTANT DETAILS & SPEC.
SG - SECURITY GATE & GRILLE.
FIP - FIRE INDICATOR PANEL.
FFL - FINISHED FLOOR LEVEL.
TOW - TOP OF WALL.
PAV - FINISHES TAG, REFER FINISHES SCHEDULE.
S - SMOKE DETECTOR.
D - THERMAL DETECTOR.
PBD - PLANTER BOX DRAINAGE OUTLET.
EXT - 2.5kg DRY CHEMICAL PWDR AB(E) TYPE PORTABLE FIRE EXTINGUISHERS.
RWO - RAINWATER OUTLET.
DP - DOWN PIPE.
ST - STACK.

- P3 - SELECTED PAINT FINISH.
CL1 - PRE-FINISHED CLADDING.
T1 - TILES LAID TO FALL ON SCREED.
T2 - INTERNAL TILES.
CF1 - SELECTED CONCRETE FINISH.
CF2 - POLISHED CONCRETE FINISH.
B1 - ANODISED ALUMINIUM FRAMED DOORS.
B2 - PANEL LIFT GARAGE DOOR, COLORBOND FINISH.
R11 - ROOF TILES.
R12 - ROOF TILES.
S11 - SANDSTONE CLAD MASONRY WALL.
S12 - CEMENT RENDERED MASONRY.
P1 - PAINT FINISH.
P2 - CEMENT RENDERED MASONRY.
PSK - PLATE STEEL CLADDING SPANDREL.
SP - FIRE RATED UPTURN-600mm MIN.
UT2 - SOLAR HOT WATER SYSTEM.
UT1 - SOLAR HOT WATER SYSTEM.
L1 - LIMESTONE CLADDING.
BLD - TIMBER BLADES.
TB1 - FACE BRICKWORK.
GB - GLAZED BRICK.
F1 - POWDERCOATED METAL FENCE.
F2 - HARDWOOD TIMBER BATTEN FENCE.
BL1 - FRAMELESS GLASS BALUSTRADE WITH ANODISED RAIL.
BL2 - SOLID BALUSTRADE.
SK1 - ANODISED ALUMINIUM FRAMED SCREEN.
A/C - AIR CONDITIONER.
CUPD - CUPBOARD.
HWU - HOT WATER UNIT.
RUS - RUSTED PANEL.
PAV - BRICK PAVES AS SPECIFIED.
TB1 - TIMBER FLOORING.
TB2 - TIMBER WALL CLADDING.
W1 - ANODISED ALUMINIUM FRAMED WINDOW.
W2 - ALUMINIUM FRAMED VELUX SKYLIGHT.

BASIX NOTES

REFER TO CERTIFICATE FOR COMPLETE DETAILS & REQUIREMENTS.

THERMAL SPECIFICATIONS

PROVIDE SINGLE CLEAR TIMBER FRAME (U-VALUE 5.55 & SHGC 0.73) OR BETTER

EXTERNAL WALLS

- REVERSE BRICK VENEER FOIL, REFLECTIVE ONE SIDE, ANTI-GLARE OTHER
- CAVITY BRICK, REFLECTIVE ONE SIDE, ANTI-GLARE OTHER
- ANTI-GLARE OTHER

INTERNAL WALLS

INTERIALLY IN UNITS (PLASTERBOARD ON STUD, NO INSULATION)

FLOORS

CONCRETE FLOOR - NO INSULATION.

Ceilings

PLASTERBOARD WITH BULK INSULATION R2.5 UNVENTILATED ROOFSPACE

ROOF

ROOF TILES, GAP ABOVE, REFLECTIVE SIDE DOWN, ANTI-GLARE UP

COMMENTS FOR RESIDENTIAL FLAT BUILDINGS - UNIT BUILDING

WATER

THE APPLICANT MUST:
-PLANT INDIGENOUS OR LOW WATER USE SPECIES OF VEGETATION THROUGHOUT THE AREA OF LAND SPECIFIED FOR THE DWELLING.
-INSTALL EXTERIOR OR APPLICABLE VEGETATION ACCORDING TO THE SPECIFICATIONS.
-INSTALL A HOT WATER REGENERATION SYSTEM, ACCORDING TO THE SPECIFICATIONS.
-A SEPARATE DIVERSION TANK, ACCORDING TO THE SPECIFICATIONS.
-NOT EXCEED THE SPECIFIED VOLUME FOR PRIVATE SWIMMING POOL OR SPA, LOCATION AND COVER AS PER TABLE 1.
-INSTALL ALTERNATIVE WATER SUPPLY SYSTEM AS SPECIFIED.

ENERGY

THE APPLICANT MUST:
-INSTALL HOT WATER SYSTEM AS SPECIFIED.
-VENTILATION SYSTEM FOR EACH BATHROOM, KITCHEN AND LAUNDRY, ACCORDING TO THE SPECIFICATIONS.
-COOLING AND HEATING SYSTEMS ACCORDING TO THE SPECIFICATIONS.

COMMENTS FOR COMMON AREAS AND CENTRAL SYSTEM/FACILITIES

WATER

THE APPLICANT MUST:
-INSTALL FITTINGS ACCORDING TO THE SPECIFICATIONS.
-ENSURE THAT THE DEVELOPMENT IS SERVICED BY AN ALTERNATIVE WATER SUPPLY SYSTEM, (TABLE SPECS.)
-ENSURE THAT SWIMMING POOL OR SPA, COMPLY WITH TABLE SPECS.

ENERGY

THE APPLICANT MUST:
-ENSURE THAT VENTILATION SYSTEM, IS CONFIGURED ACCORDING TO THE SPECIFICATIONS.
-INSTALL AND ENSURE THAT THE "PRIMARY TYPE OF ARTIFICIAL LIGHTING" FOR EACH COMMON AREA, COMPLIES WITH TABLE SPECS.
-INSTALL A CENTRALIZED LIGHTING CONTROL SYSTEM OR BMS FOR COMMON AREAS, ACCORDING TO THE SPECIFICATIONS.

NOTE

PROVISION FOR WINDOW CLEANERS IN ACCORDANCE BCA NSW CLAUSE 61-101 PORTABLE FIRE EXTINGUISHER IN ACCORDANCE WITH BCA CLAUSE E 1.6

COMMENTS FOR RESIDENTIAL FLAT BUILDINGS - UNIT BUILDING

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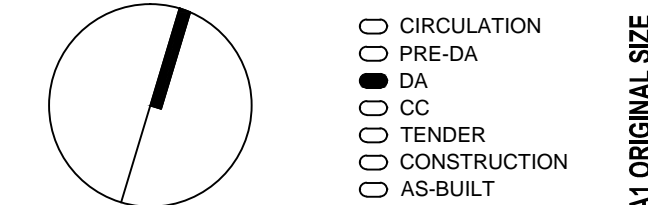
NOTE

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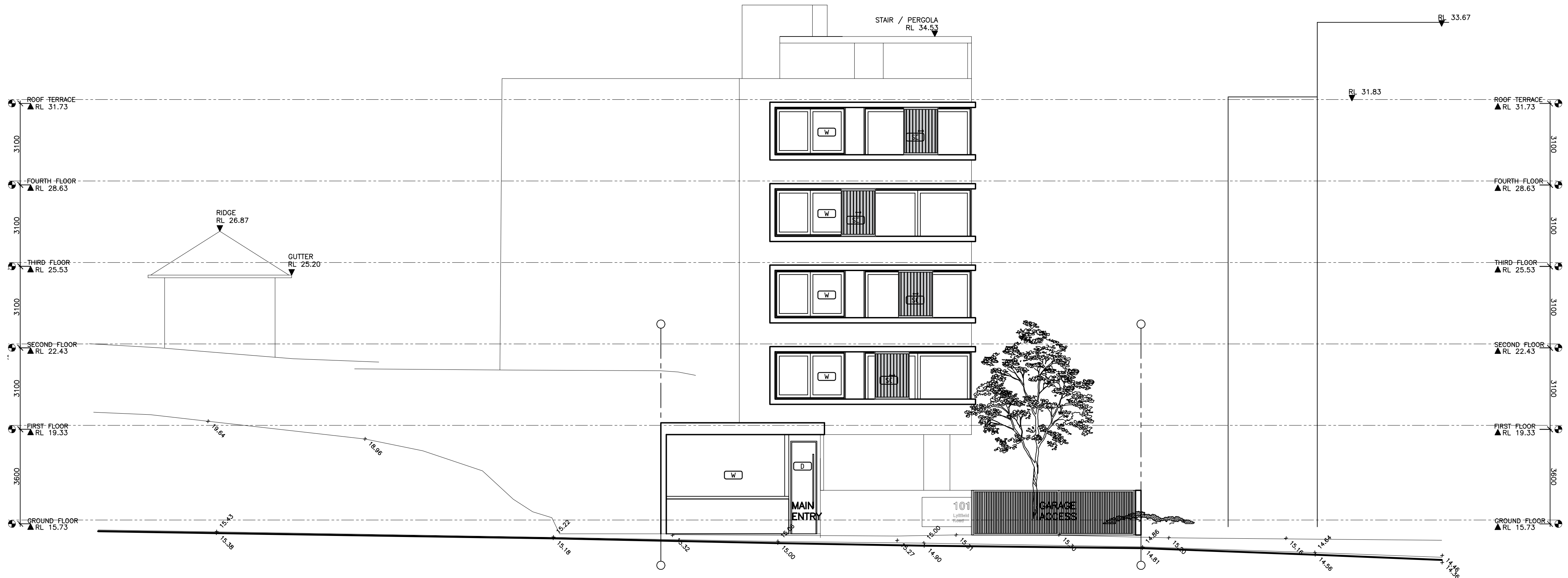
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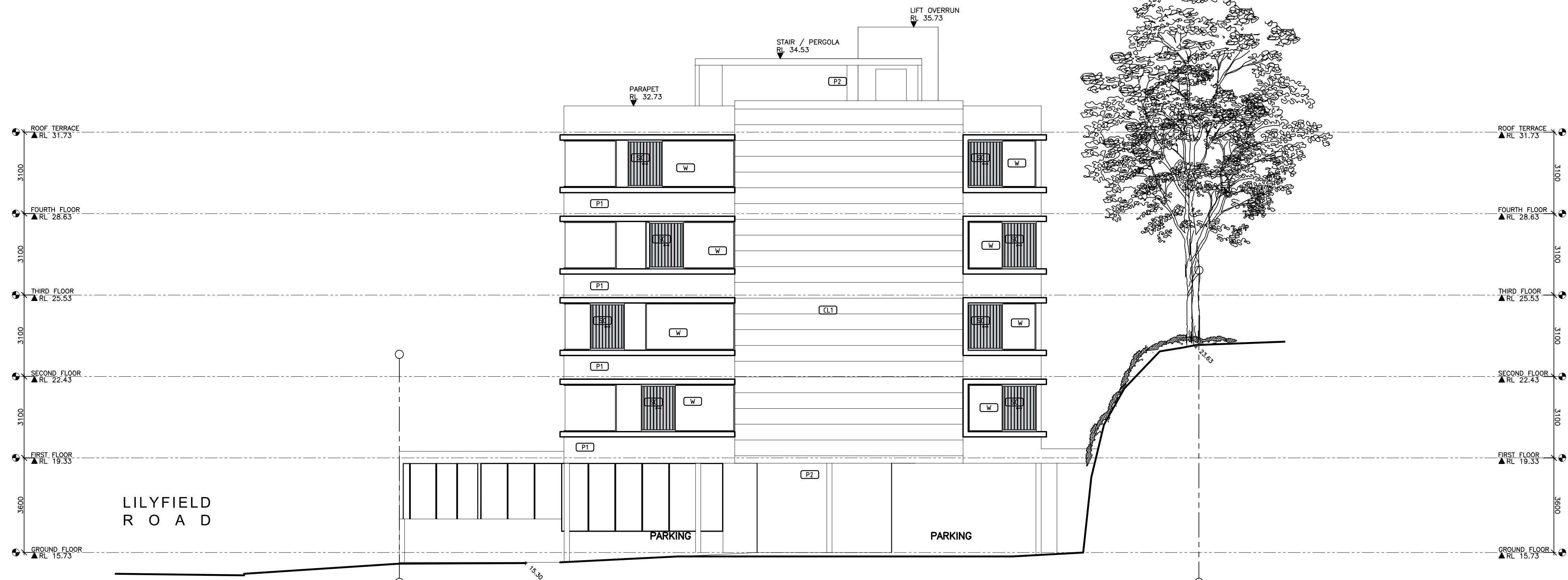
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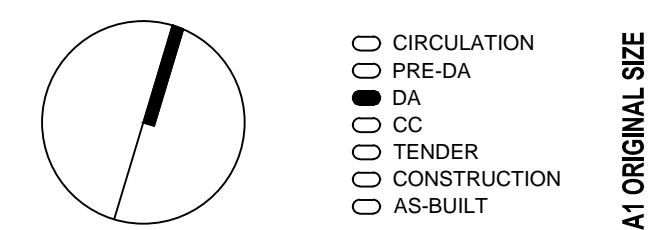


EAST ELEVATION



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BCA CONSULTANT			
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PROJECT			
RESIDENTIAL DEVELOPMENT			
101 LILYFIELD ROAD			
LILYFIELD, NSW			
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SOUTH/EAST ELEVATION			
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SCALE NTS			
JOB No. D1515			
DRAWN BY DR			
PRELIMINARY			

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Burwood NSW 2134 mruong@victorlilli.com.au

PROJECT

RESIDENTIAL DEVELOPMENT

101 LILYFIELD ROAD

LILYFIELD, NSW

DRAWING TITLE

SOUTH/EAST ELEVATION

DATE FEB 2017 DRAWING No.

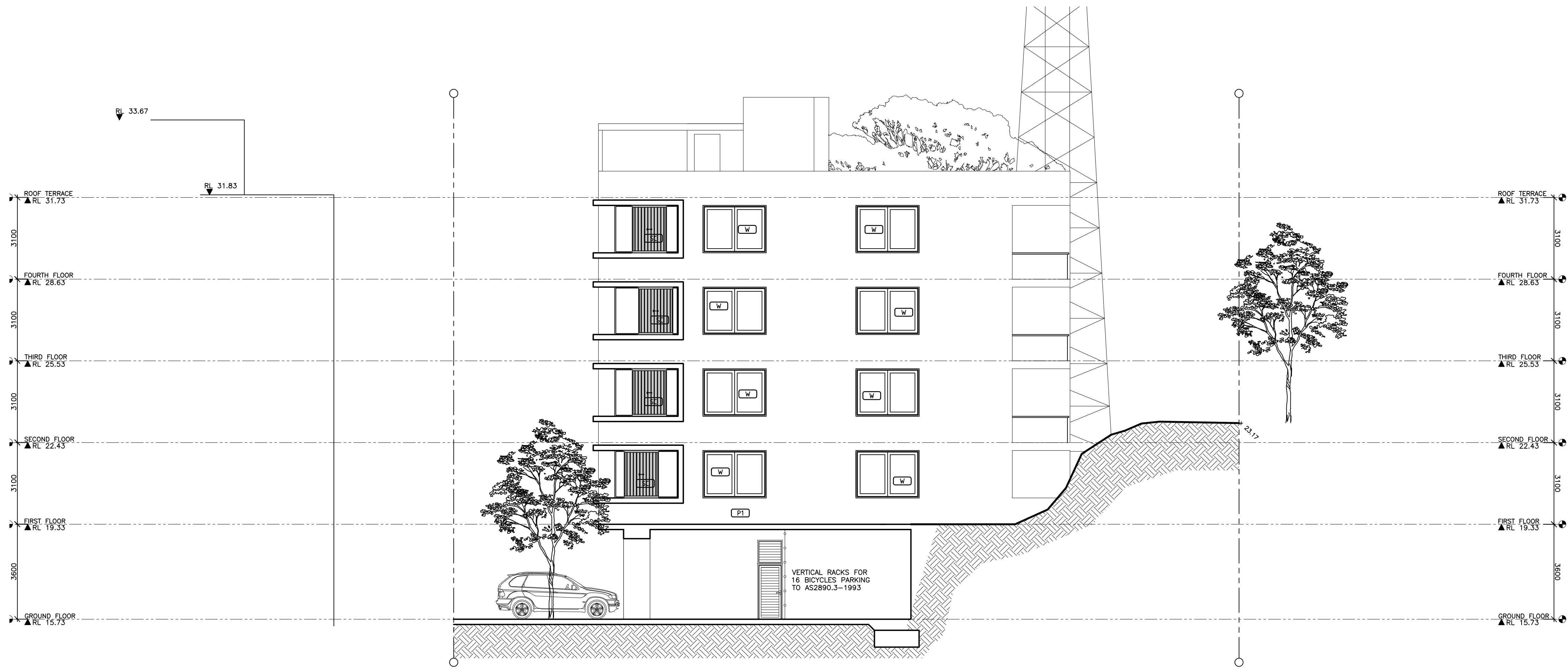
SCALE NTS

JOB No. D1515

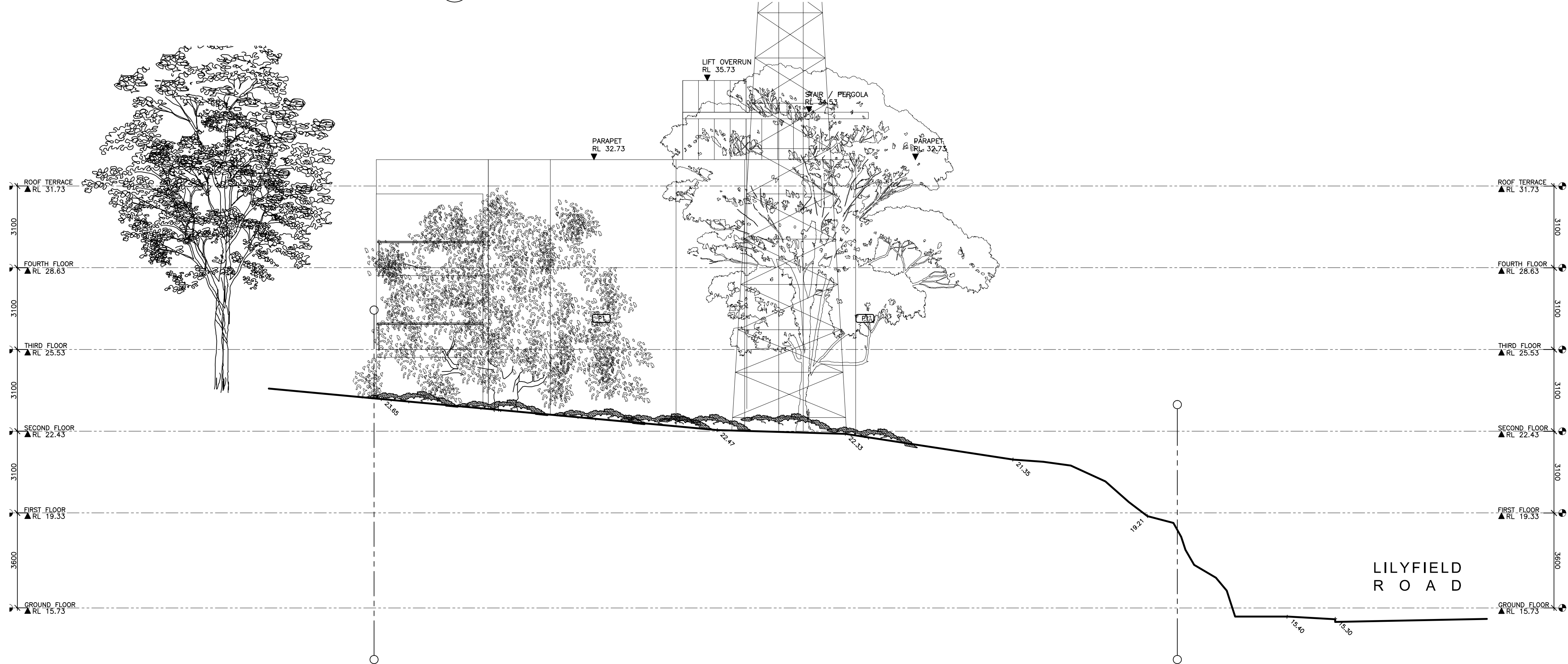
DRAWN BY DR

PRELIMINARY

08



NORTH ELEVATION

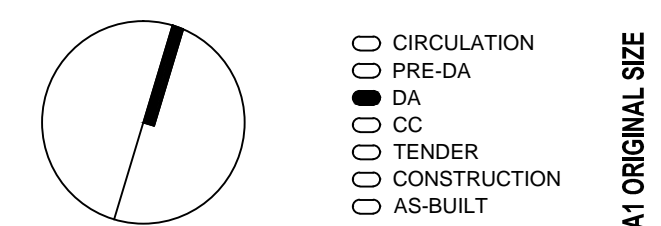


WEST ELEVATION



(AUS) PTY LTD
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LEICHHARDT NSW 2040
T: (02) 9518 3563 ABN: 86738976625

info@derekraithby.com.au Architect #7469
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A1 ORIGINAL SIZE

ISSUE	DATE	AMENDMENT	BY
1	FEB 2017	1:1 SCHEME	DR

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OZZY STATES Pty Ltd

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Burwood NSW 2134 nruong@bartendesign.com.au

PROJECT
RESIDENTIAL DEVELOPMENT
101 LILYFIELD ROAD
LILYFIELD, NSW

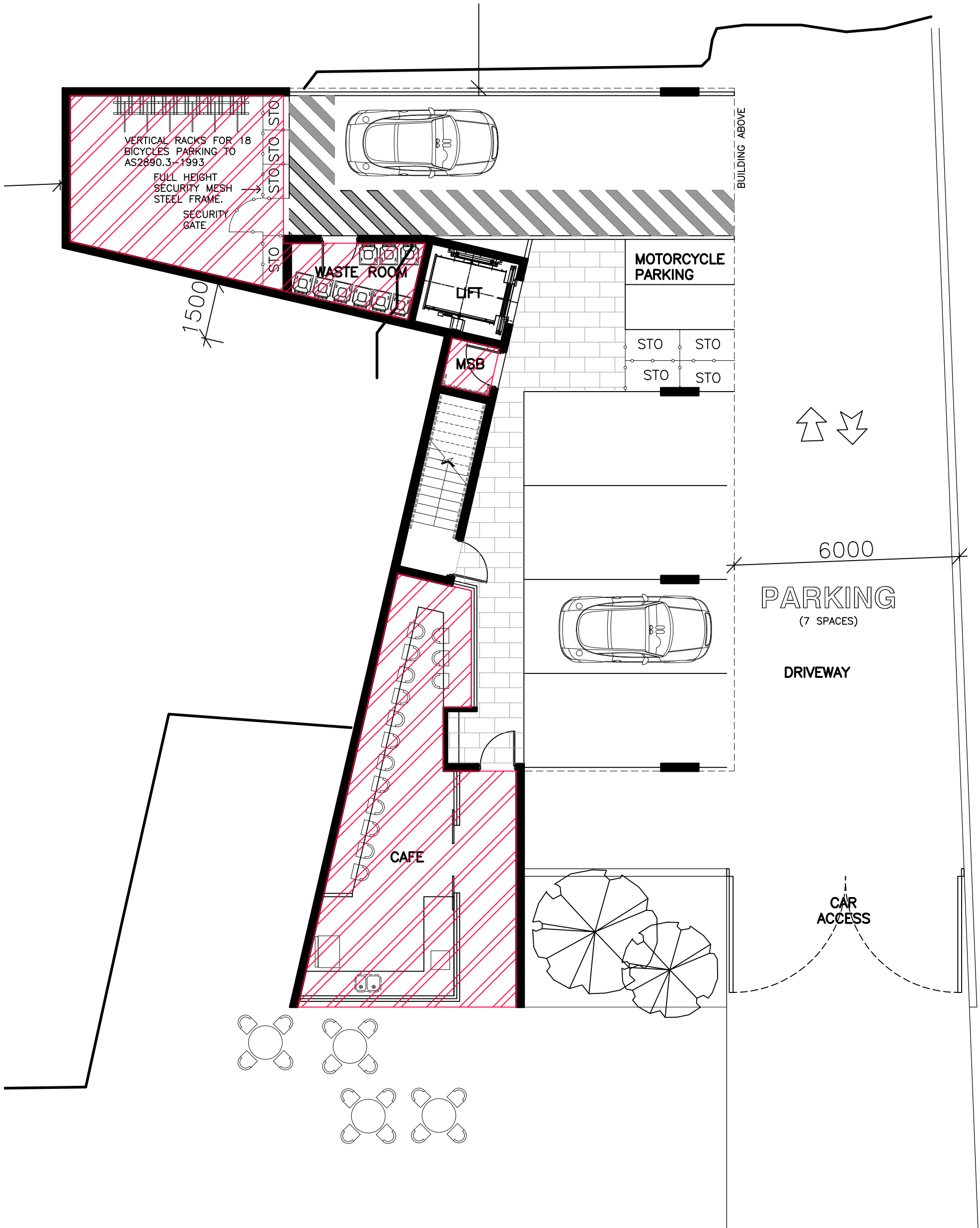
DRAWING TITLE
NORTH/EAST ELEVATION

DATE	FEB 2017	DRAWING No.
SCALE	1:100 @ A1	
JOB No.	D1515	
DRAWN BY	DR	

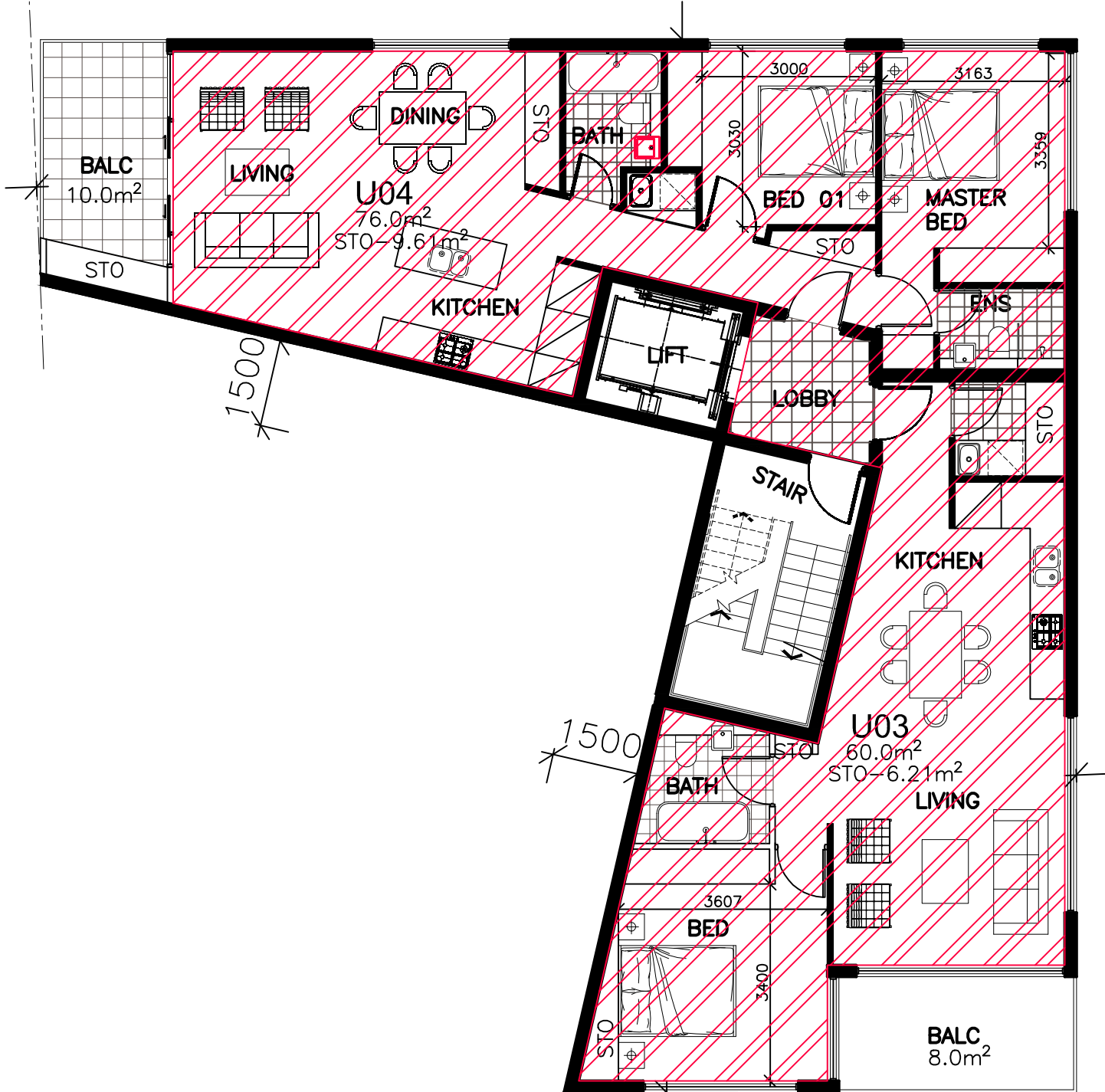
PRELIMINARY

GROSS FLOOR AREA

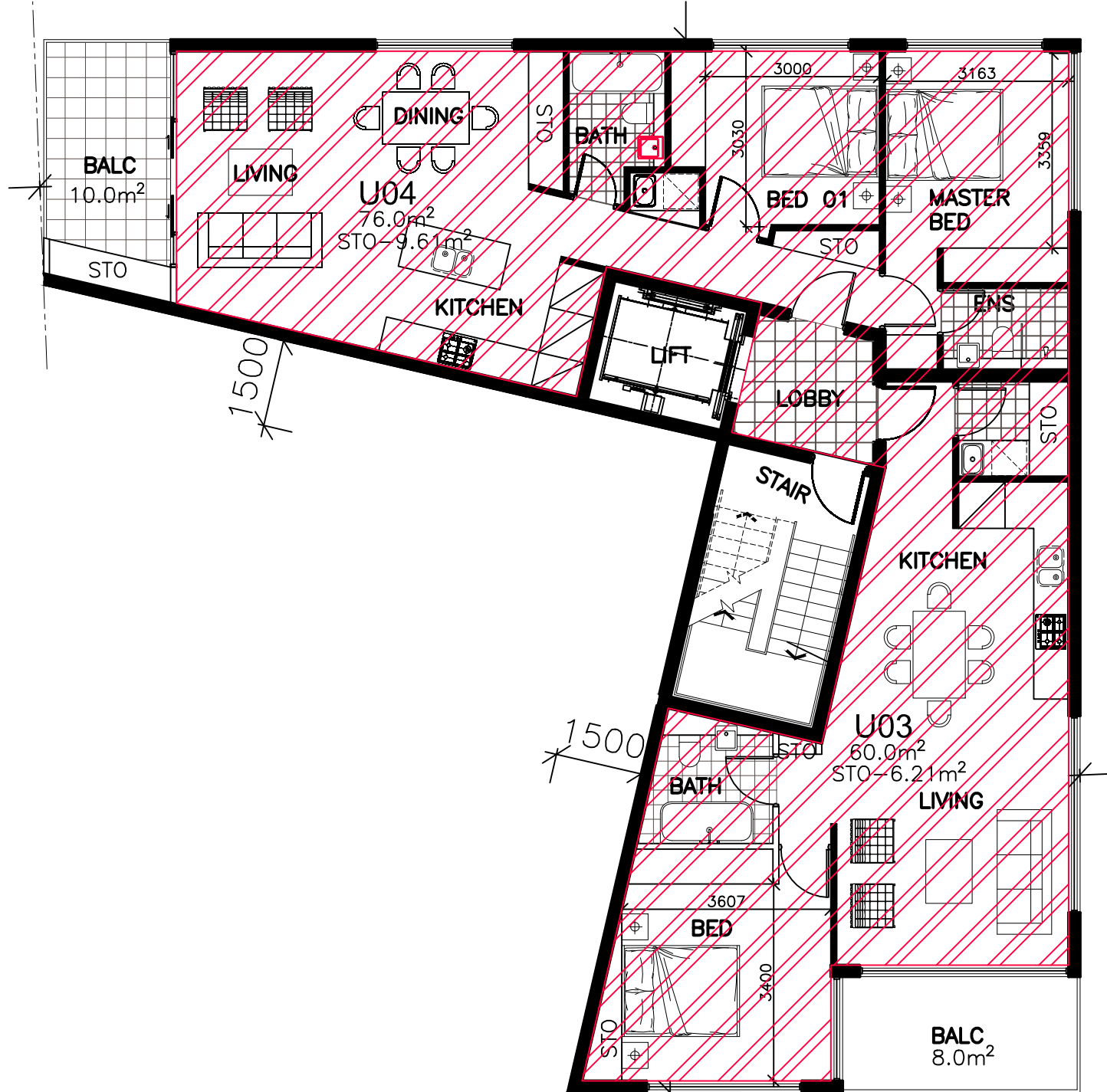
- GROUND FLOOR = 77.26m²
- FIRST FLOOR = 142.4m²
- SECOND FLOOR = 142.4m²
- THIRD FLOOR = 142.4m²
- FOURTH FLOOR = 142.4m²
- TOTAL SITE = 646.86m²
- FSR = 1:1



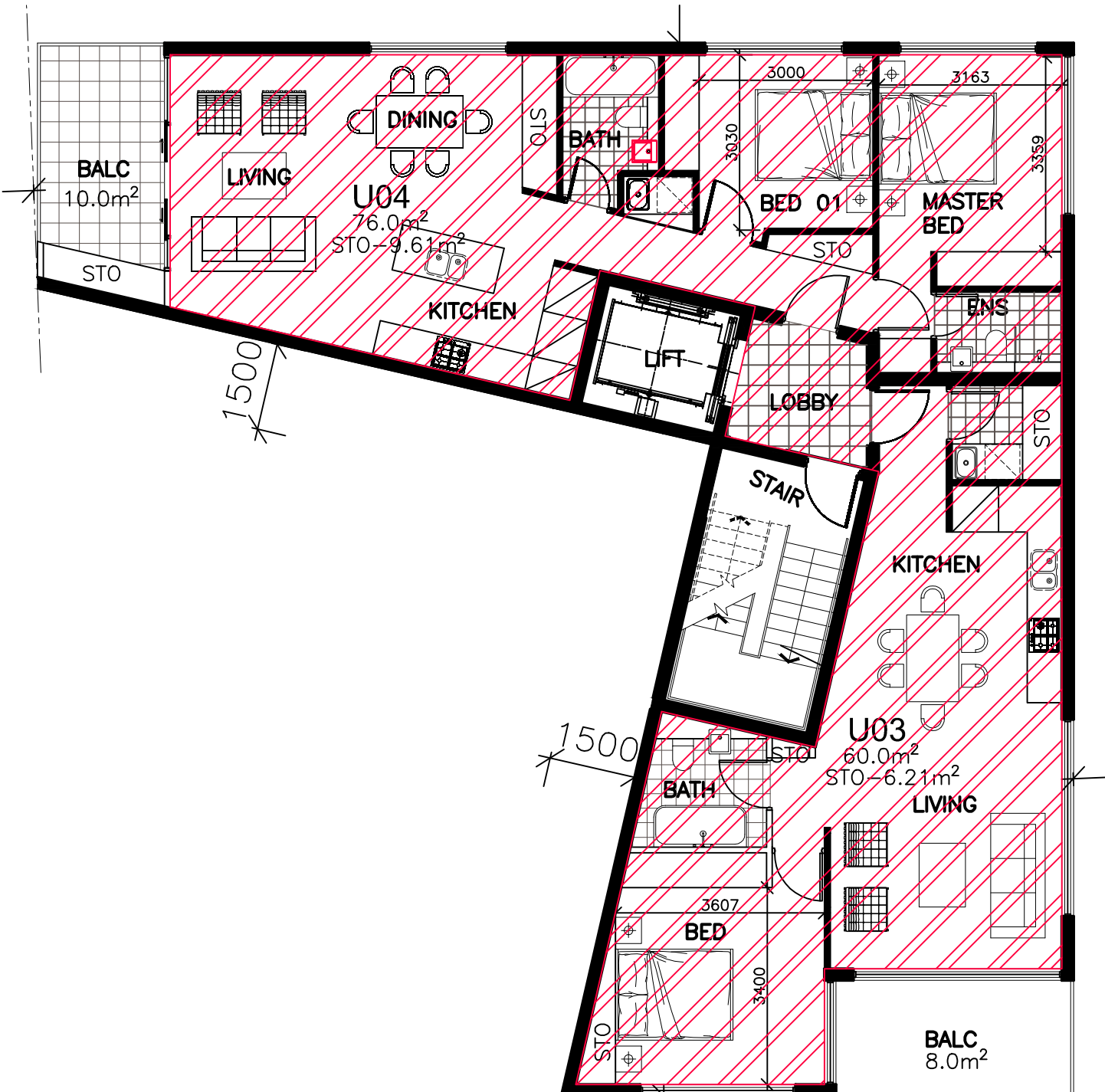
GROUND FLOOR
GROSS FLOOR AREA (GFA)
TOTAL = 113 m²



THIRD FLOOR
GROSS FLOOR AREA (GFA)
TOTAL = 142.4m²



FOURTH FLOOR
GROSS FLOOR AREA (GFA)
TOTAL = 142.4m²



FIRST FLOOR
GROSS FLOOR AREA (GFA)
TOTAL = 142.4m²

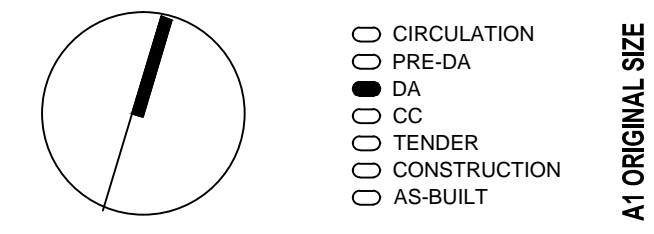


SECOND FLOOR
GROSS FLOOR AREA (GFA)
TOTAL = 142.4m²



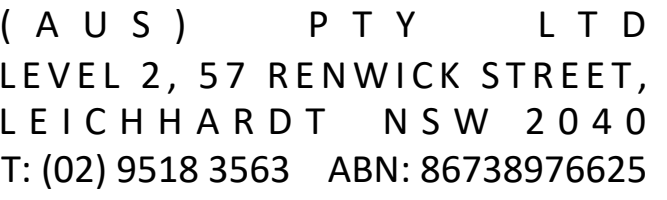
(AUS) PTY LTD
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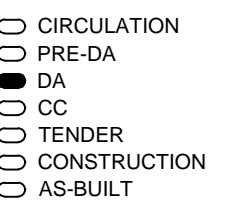


1	FEB 2017	1:1	SCHEME	DR
ISSUE	DATE	AMENDMENT		BY
CLIENT				
OZZY STATES Pty Ltd				
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PROJECT				
RESIDENTIAL DEVELOPMENT				
101 LILYFIELD ROAD				
LILYFIELD, NSW				
DRAWING TITLE				
DIAGRAM - GFA				
DATE FEB 2017 DRAWING No.				
SCALE 1:250 @ A1				
JOB No. D1515				
DRAWN BY DR				
PRELIMINARY				

A1 ORIGINAL SIZE



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AT ORIGINAL SIZE

1	FEB 2017	1:1 SCHEME	DR
ISSUE	DATE	AMENDMENT	BY

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Burrwood NSW 2134 Ph: (02) 9715 2555
ntruong@dartechdesign.com.au

PROJECT _____

REGIONAL DEVELOPMENT _____

RESIDENTIAL DEVELOPMENT
101 LILYFIELD ROAD
LILYFIELD, NSW

DRAWING TITLE _____



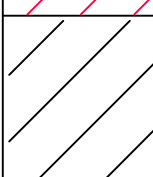
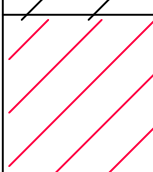
DIAGRAM - LANDSCAPED AREA

DATE	FEB 2017	DRAWING No.
SCALE	1:250 @ A1	
JOB No.	D1515	
DRAWN BY	DR	

11

PRELIMINARY

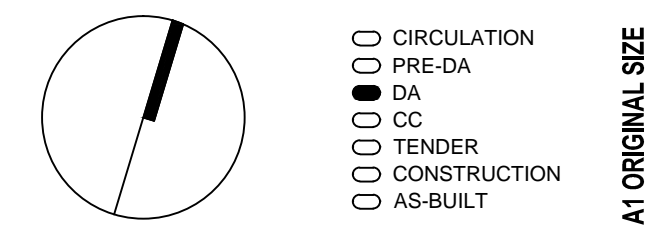


PROPOSED					
LANDSCAPE AREAS DEEP SOIL - 20% (LLEP 2013)					
	FLOOR LEVEL	SOIL TYPE	PROPOSED AREA	SITE AREA	PROPOSED %
	GROUND FLOOR	SOFT	18.54m ²	650.47m ²	2.85%
	GROUND FLOOR	DEEP	223.72 m ²		34.39%
	ROOF TERRACE	SOFT	58.32 m ²		8.96%
	TOTAL	SOFT	76.86m ²		11.81%
	TOTAL	DEEP	223.72 m ²		34.39%

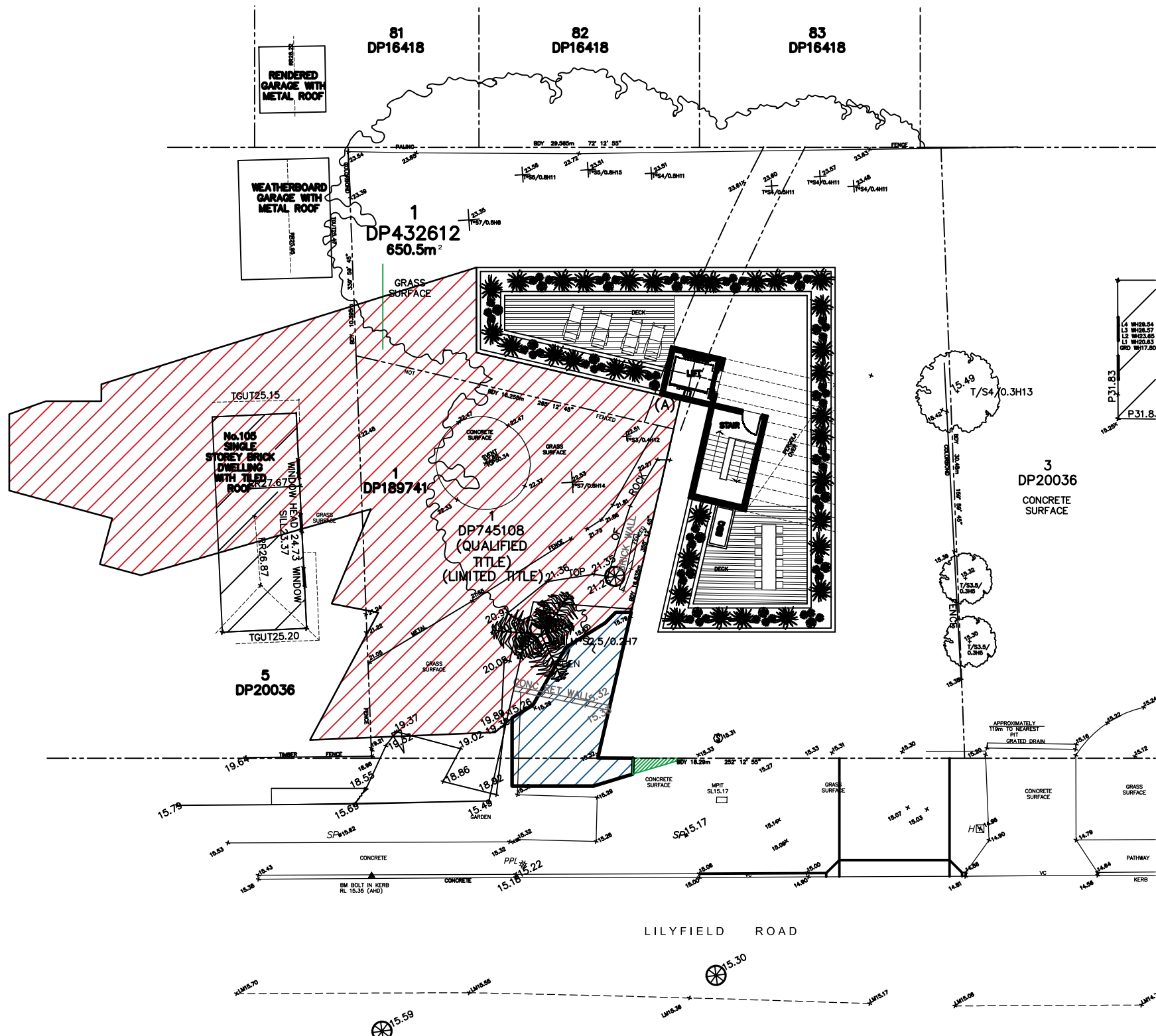


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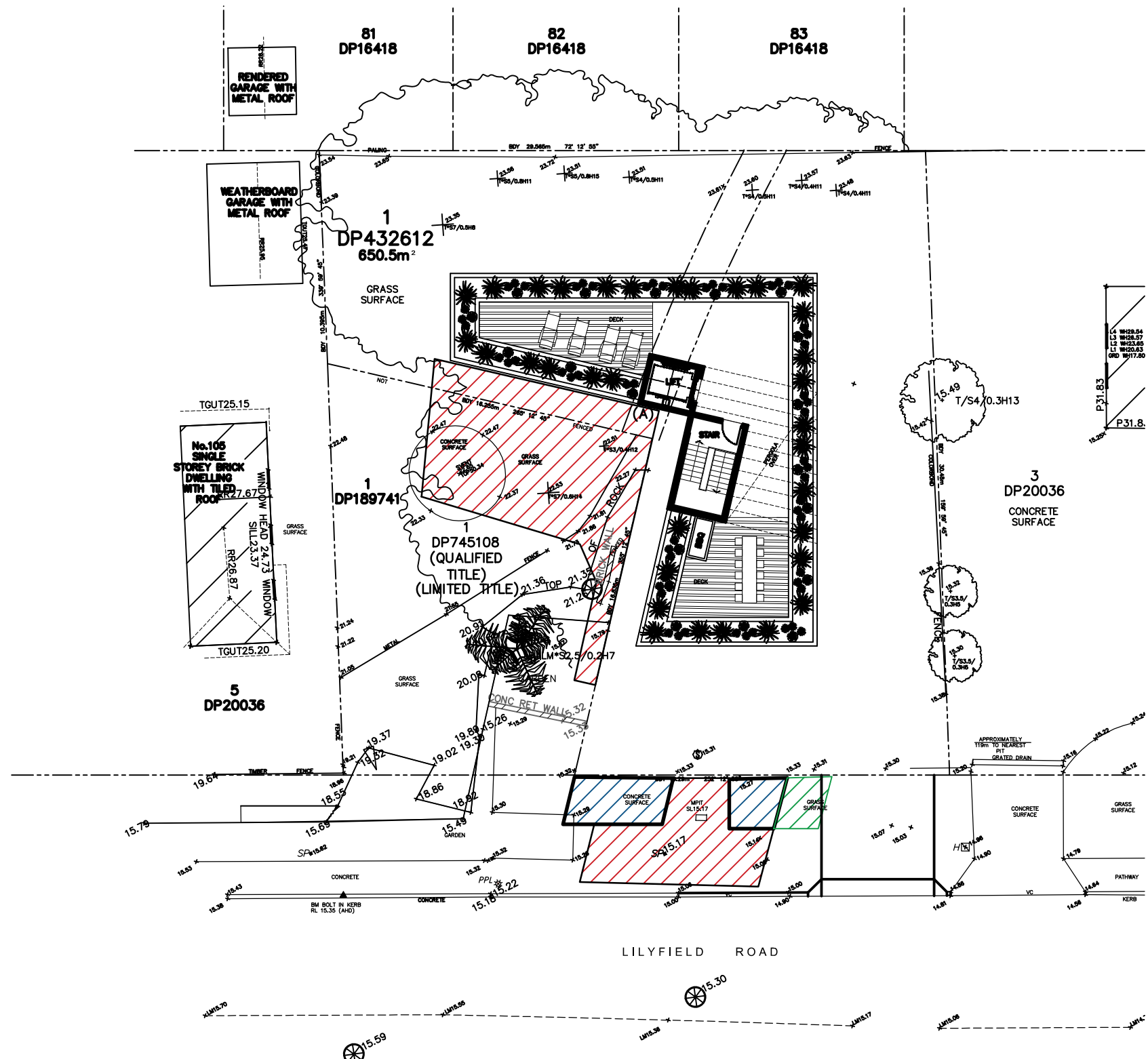
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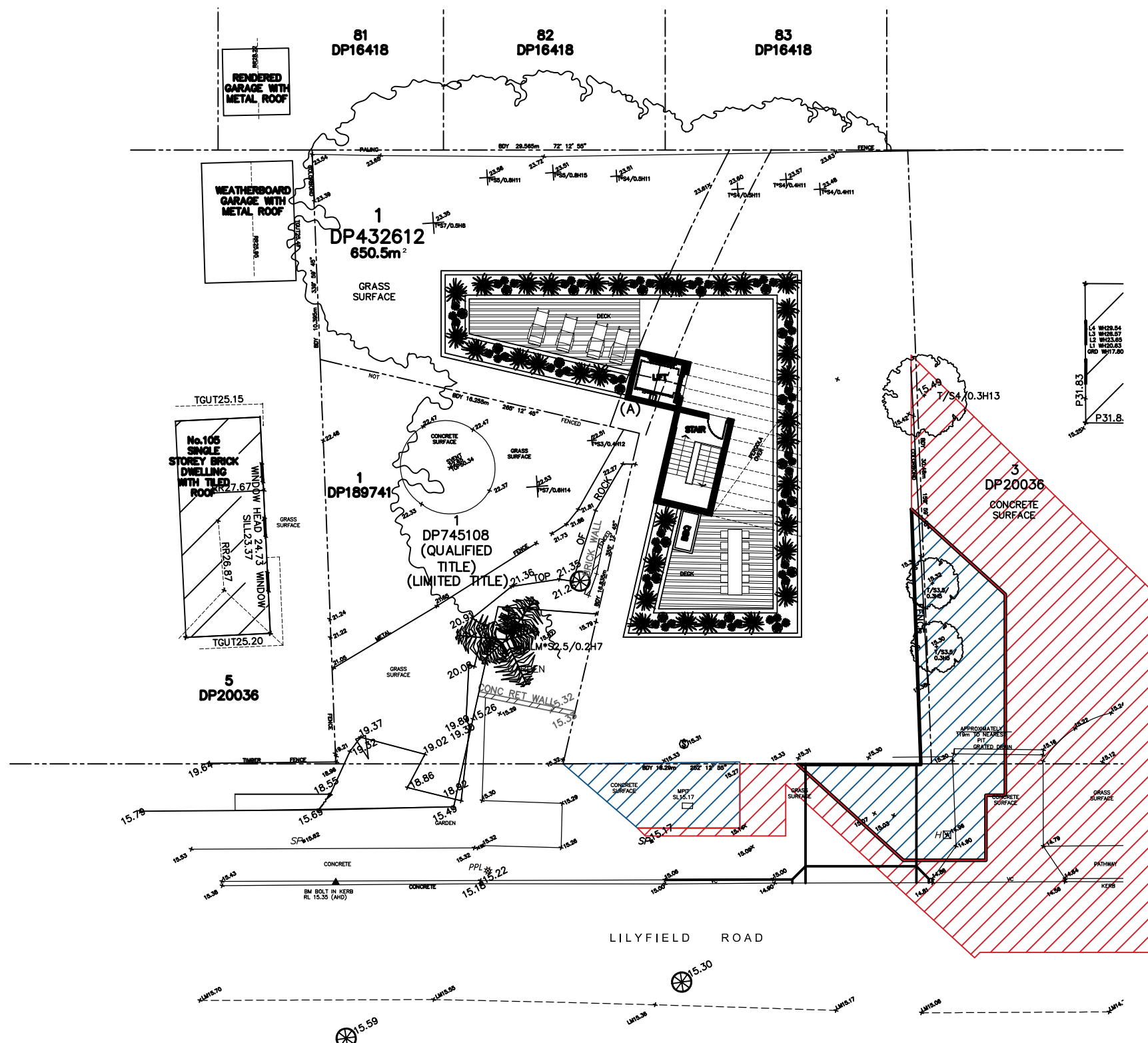
A1 ORIGINAL SIZE



SHADOW DIAGRAM
21 MARCH - 9:00 am



SHADOW DIAGRAM
21 MARCH - 12:00 pm



SHADOW DIAGRAM
21 MARCH - 15:00 pm

LEGEND

- EXISTING BUILDING SHADOW
- NEW BUILDING SHADOW
- REDUCTION SHADOW CAST

1	FEB 2017	1:1 SCHEME	DR
ISSUE	DATE	AMENDMENT	BY

CLIENT
OZZY STATES Pty Ltd

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APP CORPORATION PTY LIMITED
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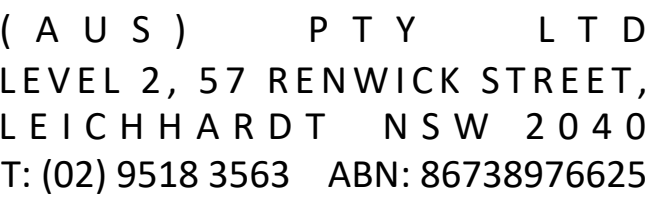
GEOTECHNICAL/CONTAMINATION
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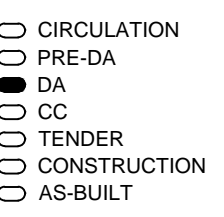
PROJECT
RESIDENTIAL DEVELOPMENT
101 LILYFIELD ROAD
LILYFIELD, NSW

DRAWING TITLE
DIAGRAM - SHADOWS - MARCH

DATE	FEB 2017	DRAWING No.
SCALE	1:100 @ A1	12
JOB No.	D1515	
DRAWN BY	DR	
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A7 ORIGINAL SIZE

1	FEB 2017 1:1 SCHEME		DR
ISSUE	DATE	AMENDMENT	BY

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PROJECT

RESIDENTIAL DEVELOPMENT
101 LILYFIELD ROAD
LILYFIELD, NSW

DRAWING TITLE




DIAGRAM - SHADOW - JUNE

DATE	FEB 2017	DRAWING No.
SCALE	1:100 @ A1	
JOB No.	D1515	
DRAWN BY	DR	

13

PRELIMINARY



 EXISTING BUILDING SHADOW
 NEW BUILDING SHADOW
 REDUCTION SHADOW CAST



21 JUNE 09:00am



21 JUNE 09:30am



21 JUNE 10:00am



21 JUNE 10:30am



21 JUNE 11:00am



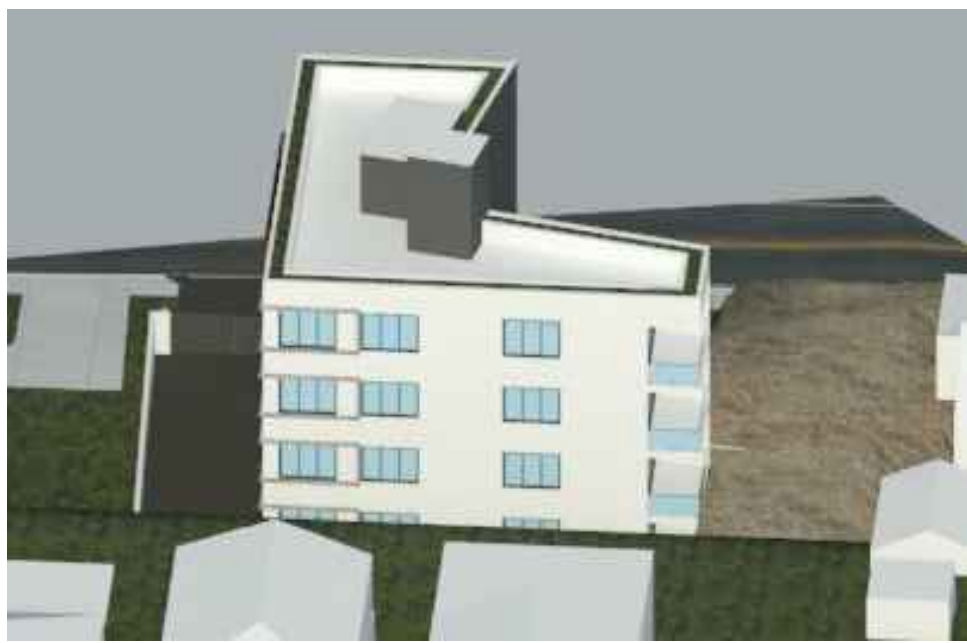
21 JUNE 11:30am



21 JUNE 12:00pm



21 JUNE 12:30pm



21 JUNE 1:00pm



21 JUNE 1:30pm



21 JUNE 2:00pm



21 JUNE 2:30pm



21 JUNE 3:00pm

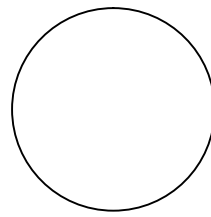
SOLAR ACCESS - APARTMENTS													
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U1	00:00	00:00	00:30	00:30	00:30	00:30	00:30	00:30	00:00	00:00	00:00	00:00	2:30
U2	00:00	00:30	00:30	00:30	00:30	00:30	00:30	00:30	00:00	00:00	00:00	00:00	3:30
U3	00:00	00:30	00:30	00:30	00:30	00:30	00:30	00:30	00:00	00:00	00:00	00:00	3:00
U4	00:30	00:30	00:30	00:30	00:30	00:30	00:30	00:30	00:30	00:30	00:30	00:30	6:00
U5	00:30	00:30	00:30	00:30	00:30	00:30	00:30	00:30	00:00	00:00	00:00	00:00	3:30
U6	00:30	00:30	00:30	00:30	00:30	00:30	00:30	00:30	00:30	00:30	00:30	00:30	6:00
U7	00:30	00:30	00:30	00:30	00:30	00:30	00:30	00:30	00:00	00:00	00:00	00:00	3:30
U8	00:30	00:30	00:30	00:30	00:30	00:30	00:30	00:30	00:30	00:30	00:30	00:30	6:00

SOLAR ACCESS		
8 APARTMENTS OUT OF 8 ACHIEVES AT LEAST 2 HOURS OF DIRECT SUN LIGHT	TOTAL	8 OF 8 UNITS
	PERCENTAGE OF UNITS WITH SOLAR ACCESS	100%
	SEPP 65 REQUIREMENT	70%



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CIRCULATION
PRE-DA
DA
CC
TENDER
CONSTRUCTION
AS-BUILT

A1 ORIGINAL SIZE

1	FEB 2017	1:1 SCHEME	DR
ISSUE	DATE	AMENDMENT	BY
CLIENT			
OZZY STATES Pty Ltd			
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PROJECT
RESIDENTIAL DEVELOPMENT
101 LILYFIELD ROAD
LILYFIELD, NSW

DRAWING TITLE
DIAGRAM - SOLAR ACSESS

DATE	MARCH 2017	DRAWING No.
SCALE	1:100 @ A1	
JOB No.	D1515	14
DRAWN BY	DR	

PRELIMINARY

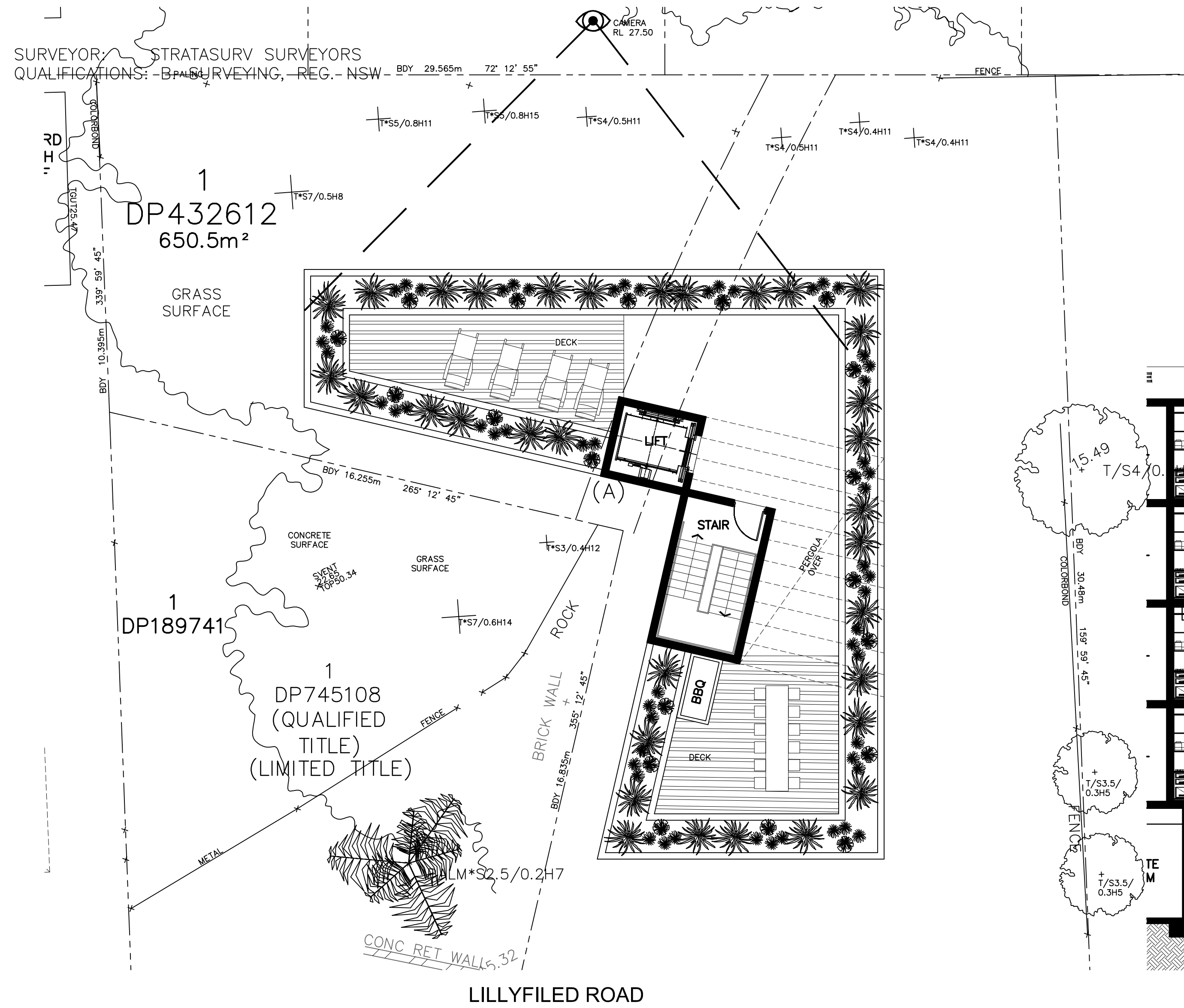


EXISTING PHOTOGRAPHY

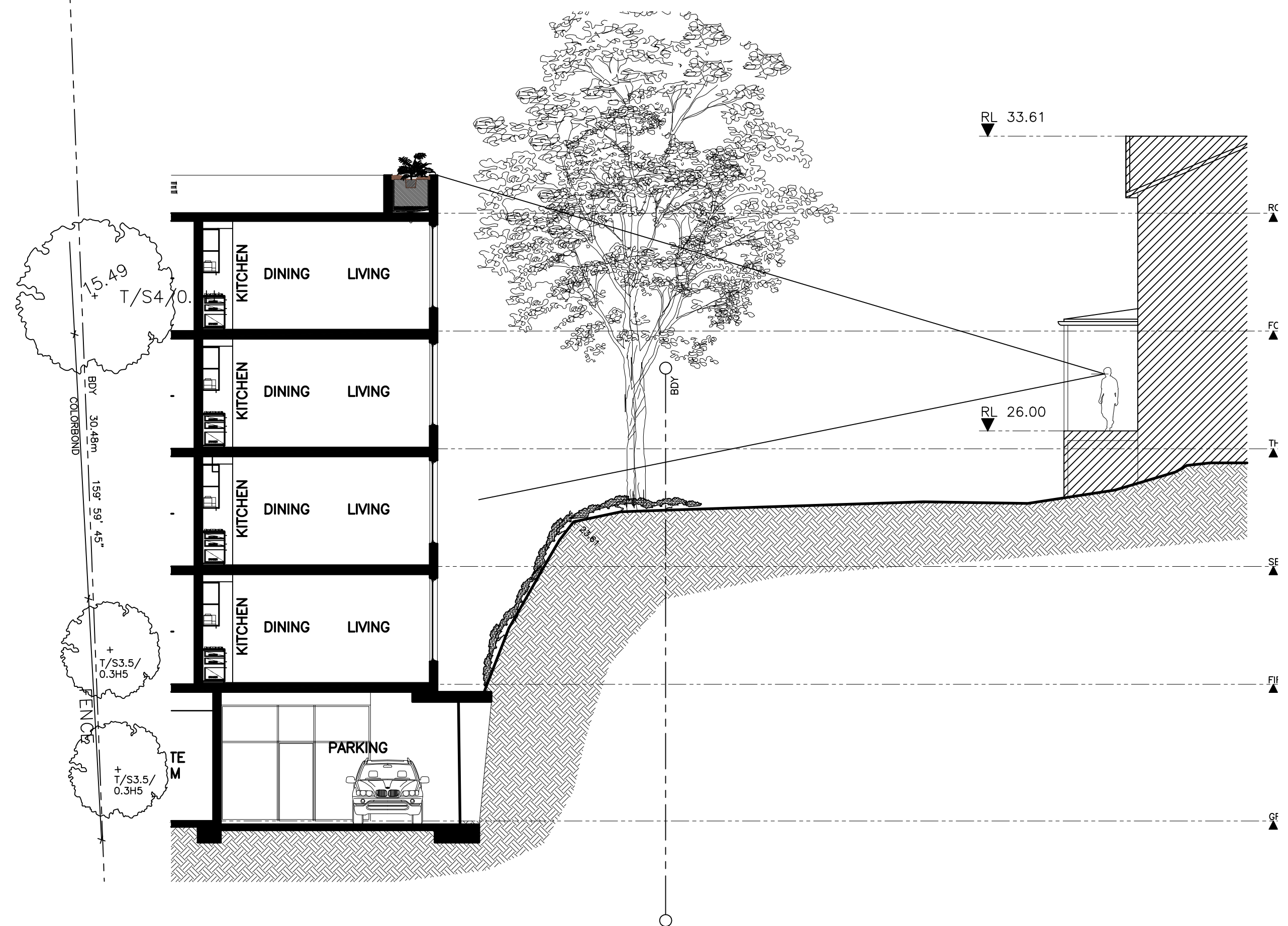
EXISTING PHOTOGRAPHY WITH WIREFRAME

EXISTING PHOTOGRAPHY WITH PHOTOMONTAGE

CAMERA: CANON EOS 500D DSLR
LENS: 20mm WIDE ANGLE
ACCESSORIES: 32GB STORAGE DISK
DATE TAKEN: 16TH MAY 2016
TAKEN BY: DEREK RAITBY



POSITION OF CAMERA



DKA
(A U S) P T Y L T D
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PRE-DA
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TENDER
CONSTRUCTION
AS-BUILT

A1 ORIGINAL SIZE

ISSUE	DATE	AMENDMENT	BY
1	FEB 2017	1:1 SCHEME	DR

CLIENT
OZZY STATES Pty Ltd

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vtruong@victorlilli.com.au

PROJECT
RESIDENTIAL DEVELOPMENT
101 LILYFIELD ROAD
LILYFIELD, NSW

DRAWING TITLE
DIAGRAM - VIEW LOSS

DATE MARCH 2017 DRAWING No.
SCALE 1:100 @ A1
JOB No. D1515
DRAWN BY DR

15

PRELIMINARY